

REPORT

Bloor Homes and the Sandleford Farm Partnership

Sandleford Park

07/04/2021

Planning Reference: 20/01238/OUTMAJ

APP/8: David Bird Figures and Appendices for Proof of Evidence on Transport Issues

Volume 2 – Figures and Appendices

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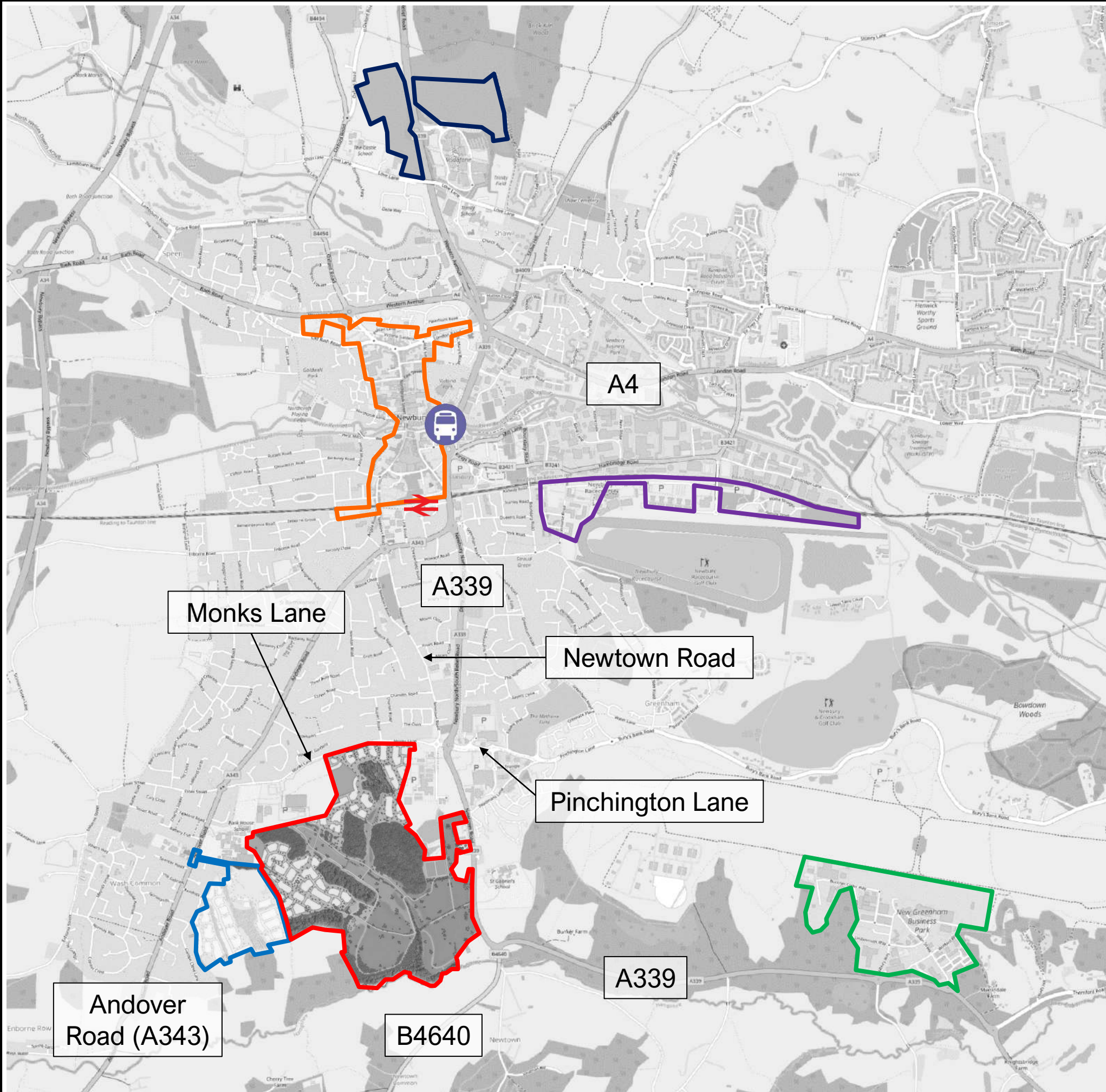
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- Key**
- Bloor Homes Application Site
 - Remainder of Strategic Allocation not within Bloor Application Site
 - Greenham Business Park
 - Newbury Town Centre
 - North Newbury Development
 - Newbury Racecourse Development
 - ⇌ Newbury Railway Station
 - 🚌 Newbury Bus Station

Bloor Homes Southern

Sandleford Park

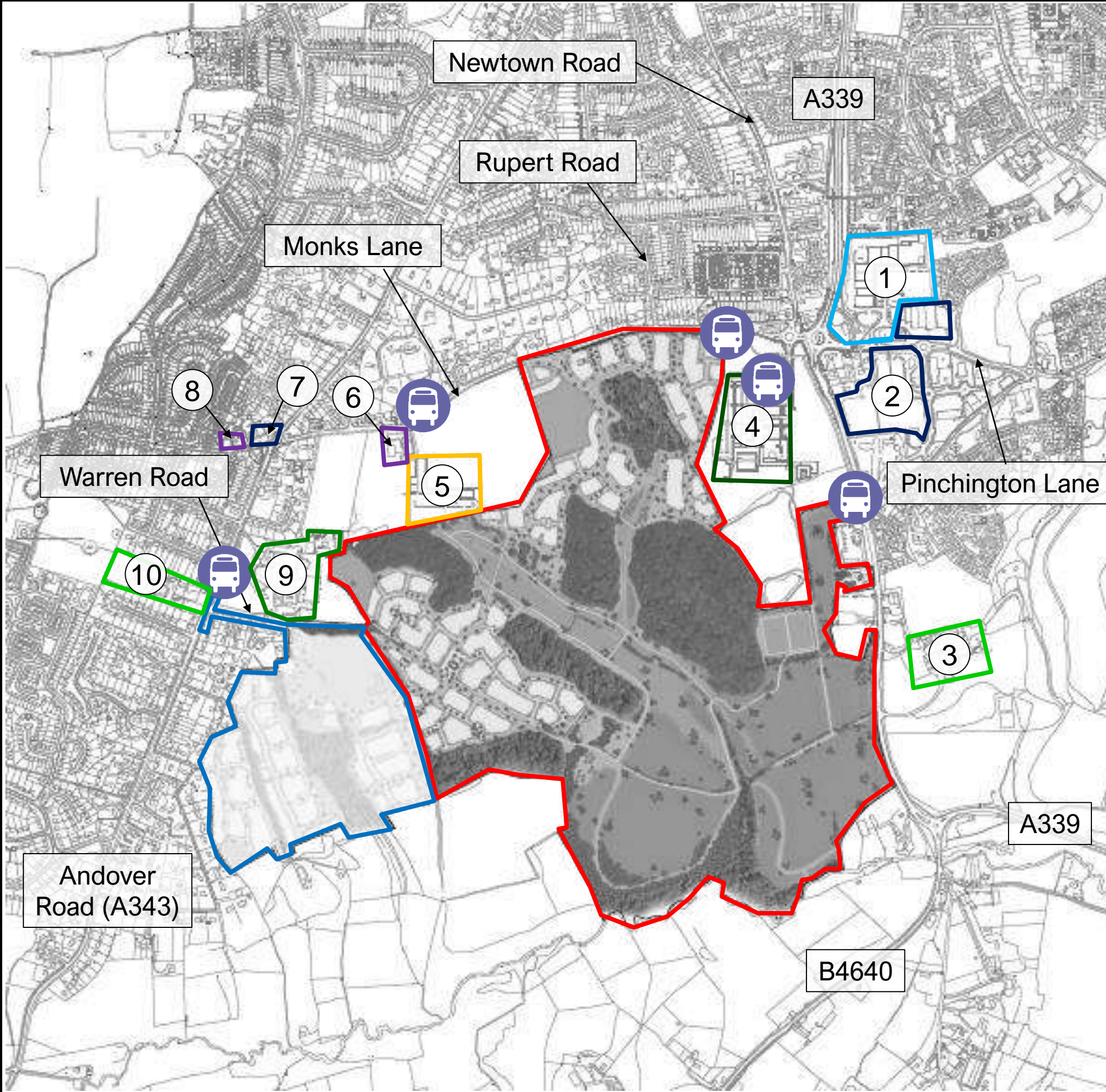
Strategic Site Location Plan

SCALES:
NTS

DRAWN: SB	CHECKED: AW	DATE: 25/03/2021	REVISION: FINAL
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DRAWING REFERENCE: Figure 1



- Key**
- Bloor Homes Application Site
 - Remainder of Strategic Allocation not within Bloor Application Site
 - Nearby Bus Stops
 - ① Newbury Retail Park
 - ② Tesco
 - ③ St Gabriel's School
 - ④ Newbury College
 - ⑤ Newbury Rugby Club / David Lloyd
 - ⑥ Falkland Surgery / Pharmacy
 - ⑦ Local Centre including Co-op
 - ⑧ Wash Common Dental Practice
 - ⑨ Park House School
 - ⑩ Falkland Primary School

Bloor Homes Southern

Sandleford Park

Local Site Location Plan

SCALES:
NTS

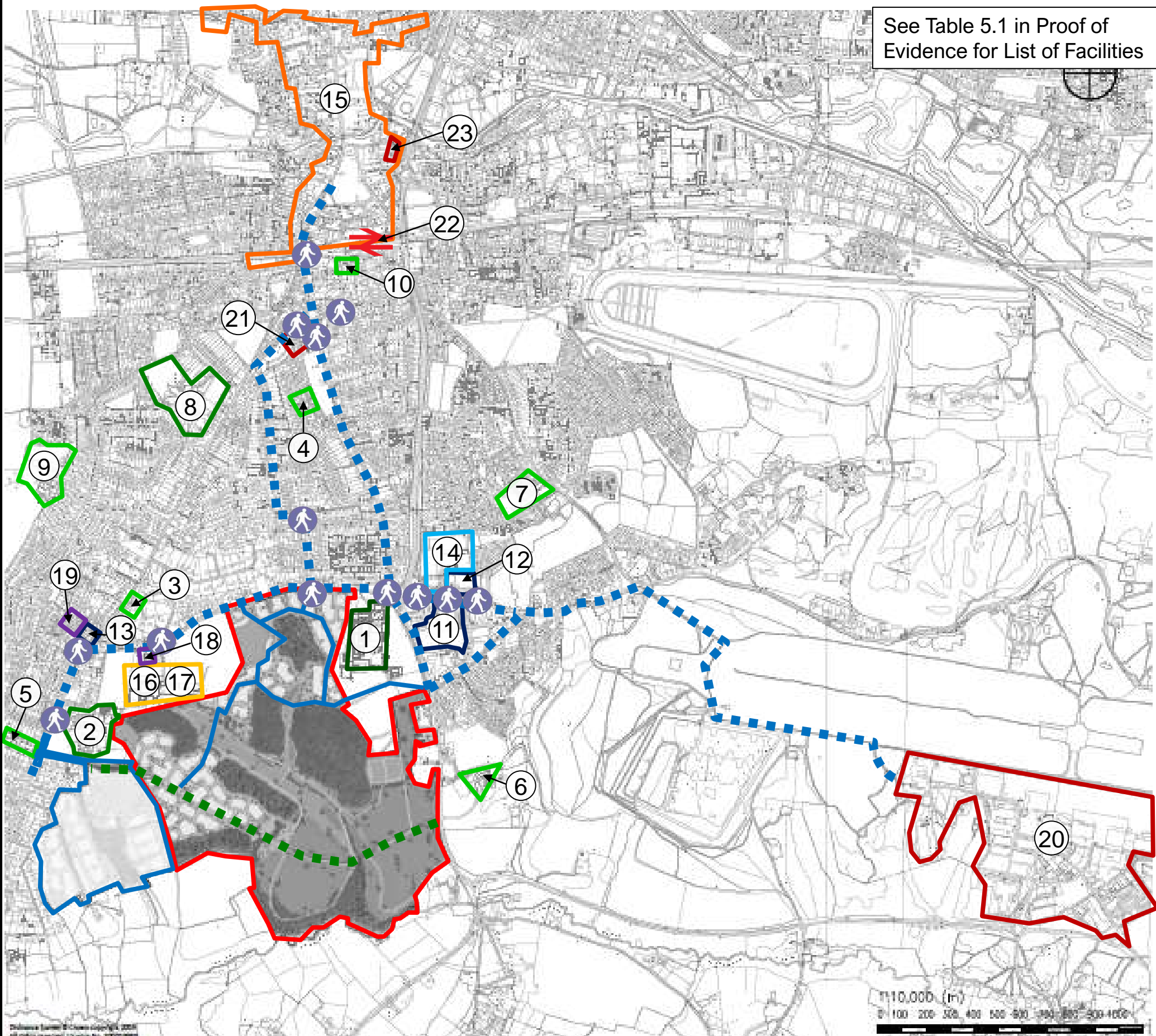
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DRAWING REFERENCE: Figure 2

See Table 5.1 in Proof of Evidence for List of Facilities



- Key**
- Bloor Homes Application Site
 - Remainder of Strategic Allocation not within Bloor Application Site
 - ⤴ Pedestrian Crossing
 - ⋯ Key Pedestrian Routes
 - ⋯ PROW (GREE/9/1, NEWB/5/1)
 - Key Routes through Site
 - Primary Education Facility
 - Secondary Education Facility
 - Tertiary Education Facility
 - Food Retail Facility
 - Non-Food Retail Facility
 - Leisure Facility
 - Healthcare Facility
 - Town Centre
 - Other Facility
 - ⇄ Newbury Railway Station

Bloor Homes Southern

Sandleford Park

Walking Routes Plan

SCALES: NTS

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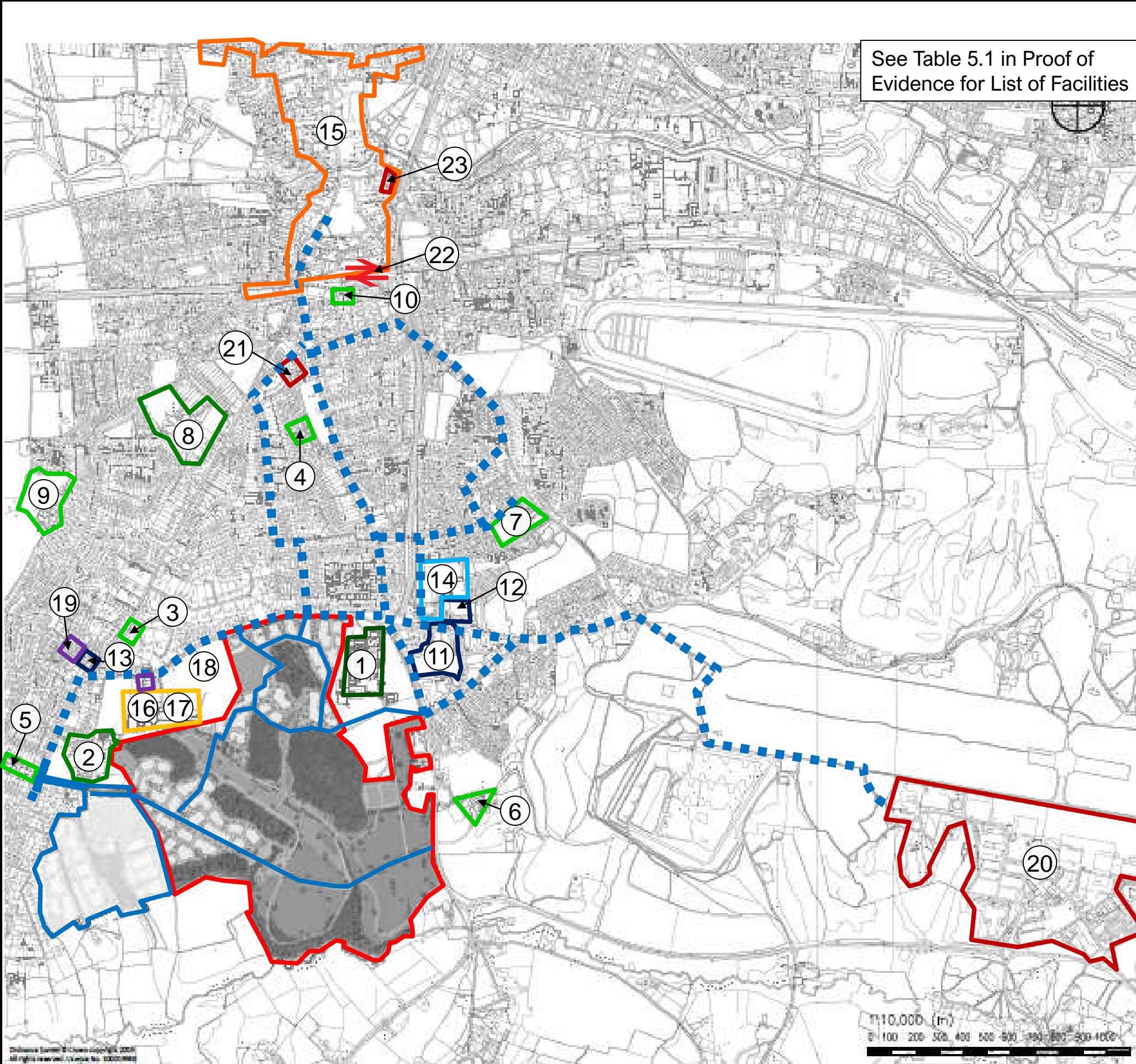
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DRAWING REFERENCE: Figure 3



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See Table 5.1 in Proof of Evidence for List of Facilities

- Key**
- Bloor Homes Application Site
 - Remainder of Strategic Allocation not within Bloor Application Site
 - Key Cycle Routes
 - Key Routes through Site
 - Primary Education Facility
 - Secondary Education Facility
 - Tertiary Education Facility
 - Food Retail Facility
 - Non-Food Retail Facility
 - Leisure Facility
 - Healthcare Facility
 - Town Centre
 - Other Facility
 - ➔ Newbury Railway Station

Bloor Homes Southern

Sandleford Park

Cycling Routes Plan

SCALES:
NTS

DRAWN: SB	CHECKED: AW	DATE: 25/03/2021	REVISION: FINAL
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DRAWING REFERENCE: Figure 4





Key

- Bloor Homes Application Site
- Remainder of Strategic Allocation not within Bloor Application Site
- Bus Service 2
- Bus Service 103
- Bus Service 103A
- Bus Service 103B
- Bus Service LINK

Bloor Homes Southern

Sandleford Park

Existing Bus Services
(Local Context)

SCALES: **NTS**

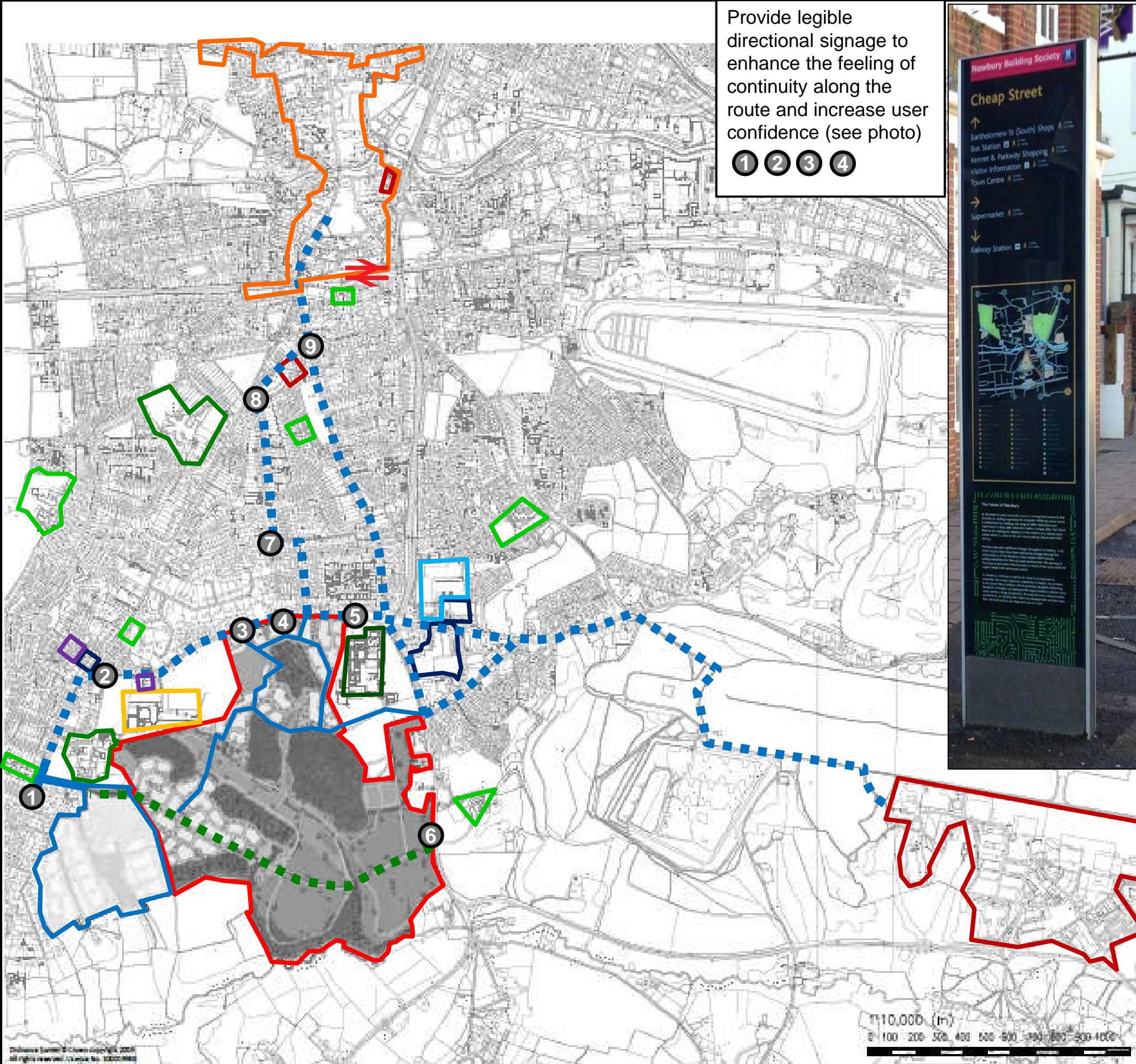
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DRAWING REFERENCE: **Figure 5**

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Provide legible directional signage to enhance the feeling of continuity along the route and increase user confidence (see photo)

① ② ③ ④



- Key**
- Bloor Homes Application Site
 - Remainder of Strategic Allocation not within Bloor Application Site
 - Key Pedestrian Routes
 - Improved PROW/Cycleway
 - Key Routes through Site
 - Primary Education Facility
 - Secondary Education Facility
 - Tertiary Education Facility
 - Food Retail Facility
 - Non-Food Retail Facility
 - Leisure Facility
 - Healthcare Facility
 - Town Centre
 - Other Facility
 - ➔ Newbury Railway Station

Bloor Homes Southern

Sandleford Park

Pedestrian Network Improvements Plan

SCALES:

NTS

DRAWN: SB	CHECKED: AW	DATE: 25/03/2021	REVISION: FINAL
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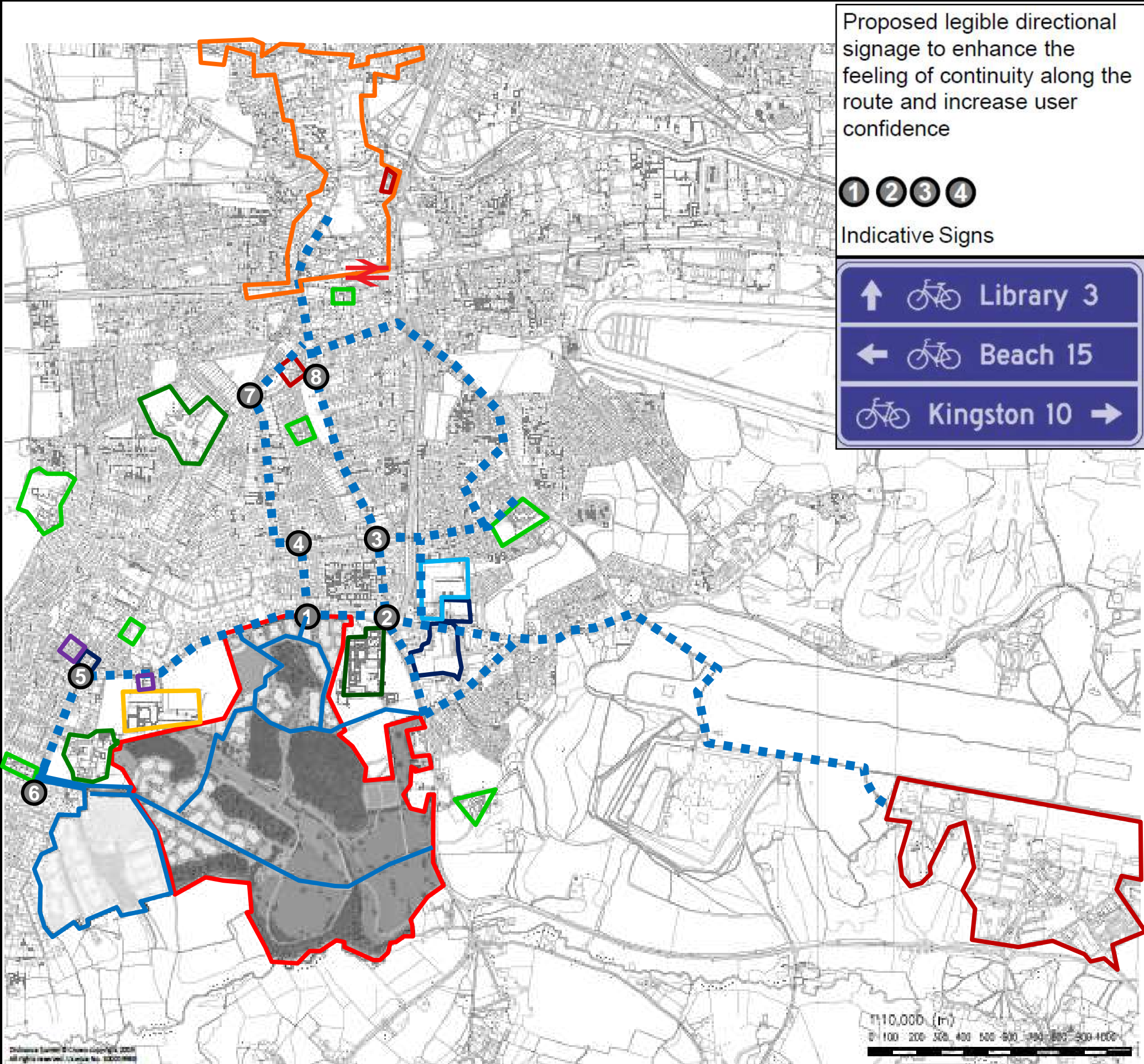
vectors.

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DRAWING REFERENCE: Figure 6



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Proposed legible directional signage to enhance the feeling of continuity along the route and increase user confidence

1 2 3 4

Indicative Signs



Key

- Bloor Homes Application Site
- Remainder of Strategic Allocation not within Bloor Application Site
- Key Cycle Routes
- Key Routes through Site
- Primary Education Facility
- Secondary Education Facility
- Tertiary Education Facility
- Food Retail Facility
- Non-Food Retail Facility
- Leisure Facility
- Healthcare Facility
- Town Centre
- Other Facility
- Newbury Railway Station

Bloor Homes Southern

Sandleford Park

Cycle Network Improvements Plan

SCALES:
NTS

DRAWN: SB	CHECKED: AW	DATE: 25/03/2021	REVISION: FINAL
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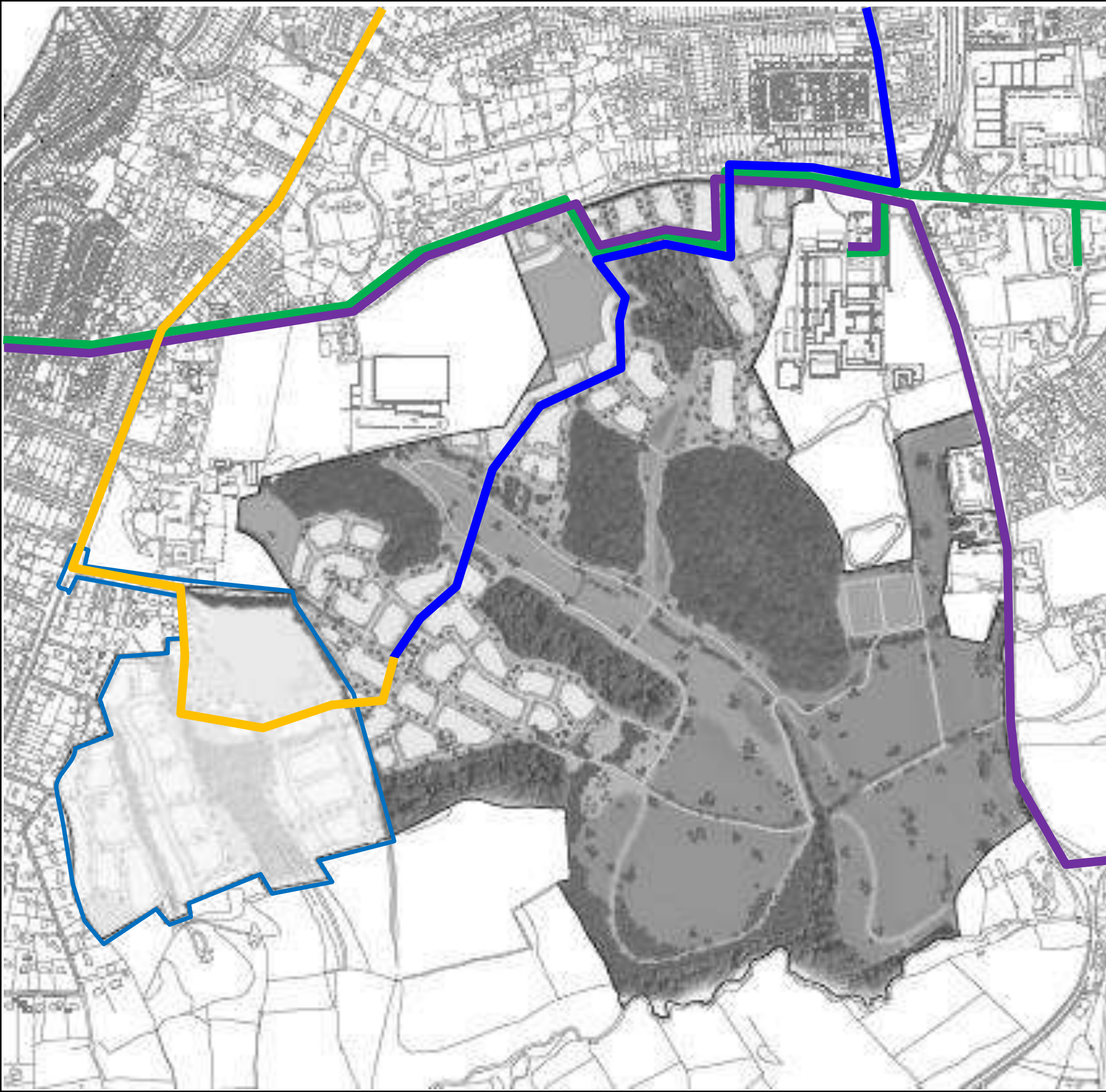
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DRAWING REFERENCE: Figure 7




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Key

Phase 1:

All bus access via the 'short loop' to/from Monks Lane as soon as completed. Diversion of services No.2 and No.103A.

 Bus Service 2

 Bus Service 103A


Phase 2:

Creation of new bus service linking the local centre to the town centre

 Proposed New Bus Service

Phase 3:

Once a link road is provided, the proposed bus service can travel through from Monks Lane to Andover Road

 Proposed New Bus Service (extension of service to Andover Road)

Bloor Homes Southern

Sandleford Park

Phased Bus Strategy

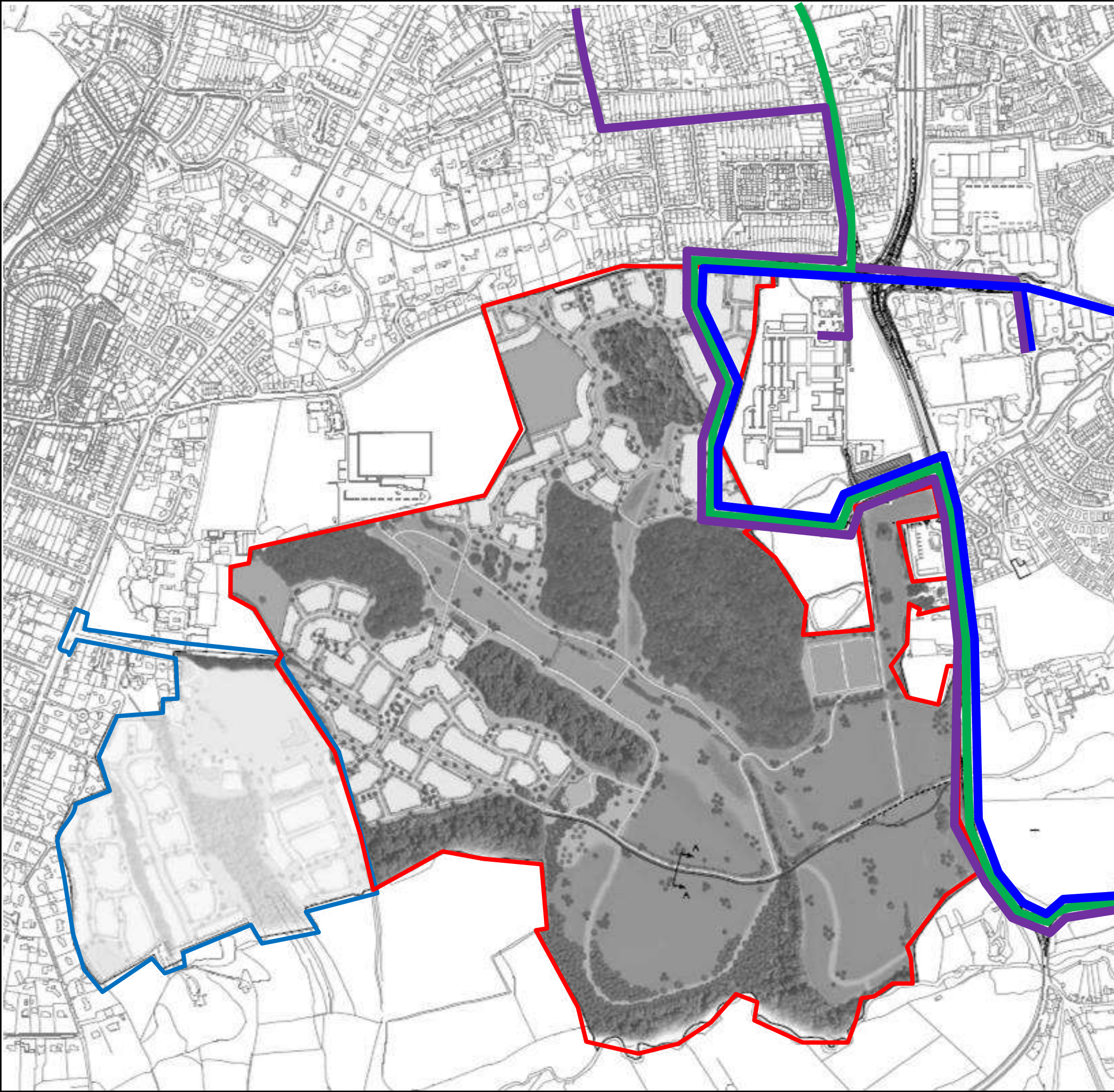
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DRAWING REFERENCE: Figure 8



Key

- Bloor Homes Application Site
- Remainder of Strategic Allocation not within Bloor Application Site
- LINK Bus Service Diversion
- 103 Bus Service Diversion
- 103B Bus Service Diversion

Bloor Homes Southern

Sandleford Park

Potential Diversion of A339 Bus Services

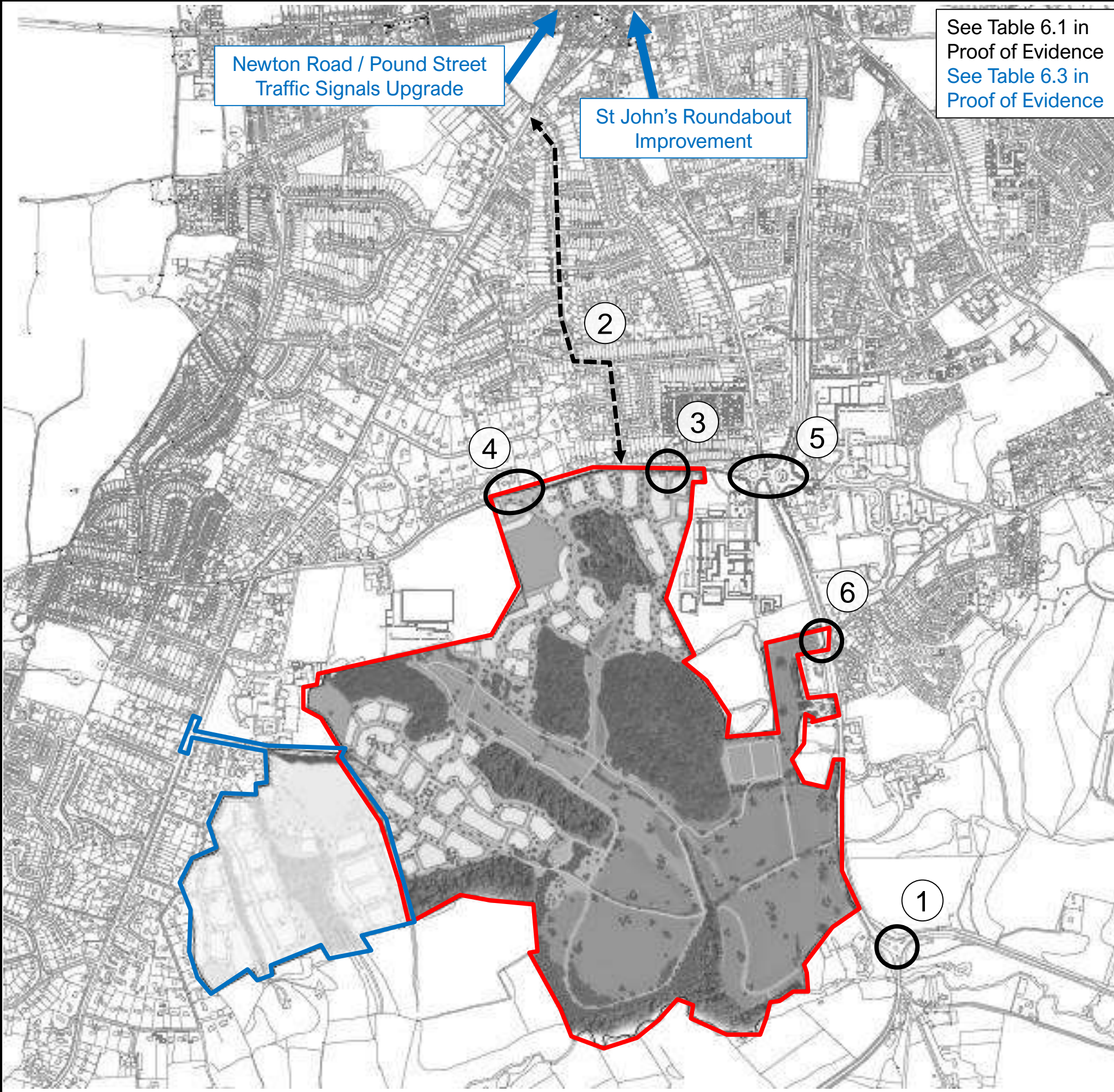
SCALES: **NTS**

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DRAWING REFERENCE: **Figure 9**



- Key**
- Bloor Homes Application Site
 - Remainder of Strategic Allocation not within Bloor Application Site
 - ① A339/B4640 Swan Roundabout improvements
 - ② Rupert Road, Chandos Road and Wendan Road pedestrian improvements
 - ③ Monks Lane Eastern Site Access
 - ④ Monks Lane Western Site Accesses
 - ⑤ A339 / Pinchington Lane / Monks Lane / Newtown Road
 - ⑥ Newbury College Access / Cycle Access

Bloor Homes Southern

Sandleford Park

Highways Mitigation Plan

SCALES:
NTS

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DRAWING REFERENCE: Figure 10



Key

- Phase 1 Bus Stop Location
- Phase 2 Bus Stop Location
- Other bus stops may be added

Bloor Homes Southern

Sandleford Park

Walking Distance to
Proposed Bus Stop
Locations

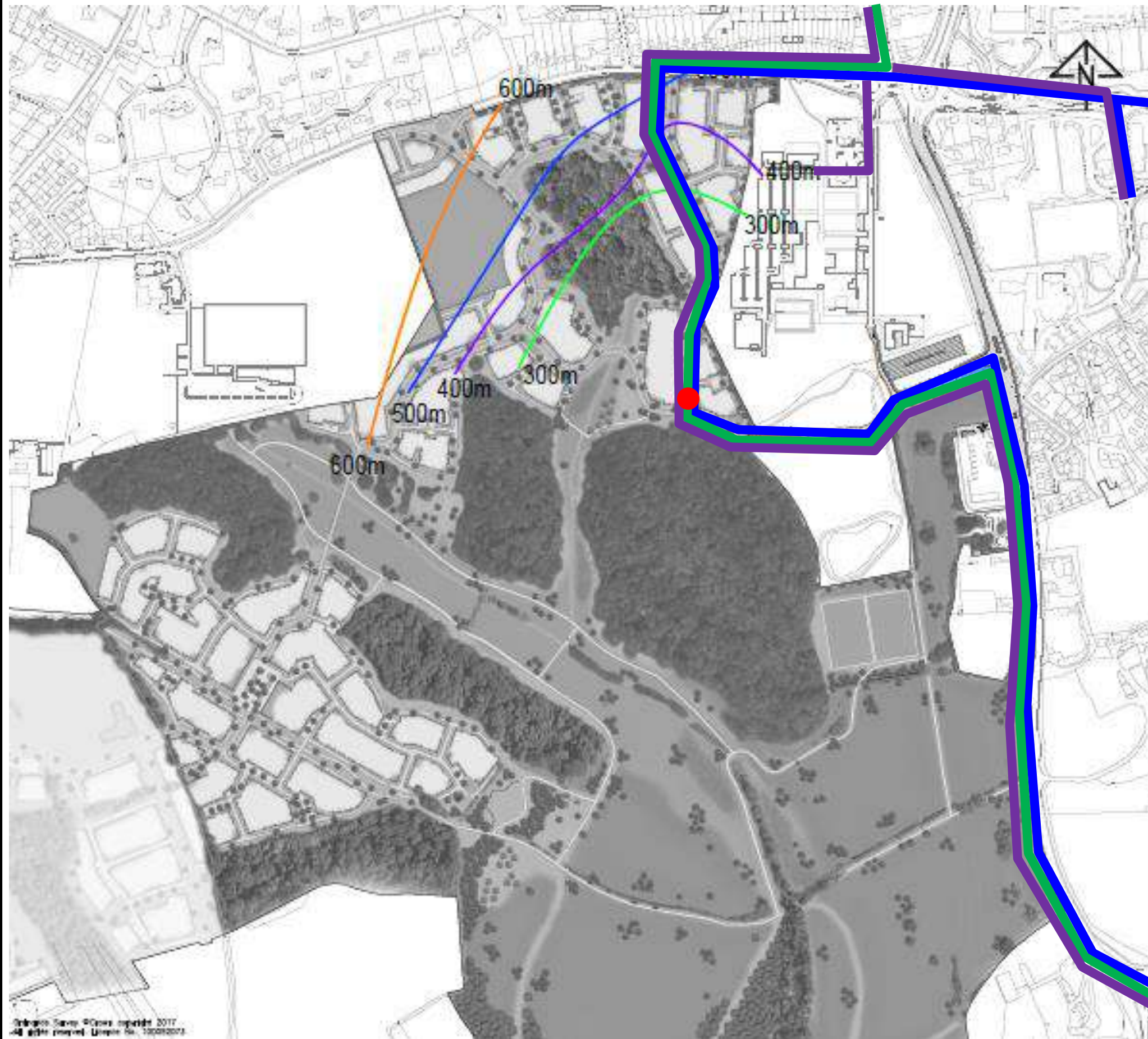
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Figure 11

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Key

- Bus Stop Location
- LINK Bus Service Diversion
- 103 Bus Service Diversion
- 103B Bus Service Diversion

Bloor Homes Southern

Sandleford Park

Potential LINK, 103 and 103B Bus Service Diversions

SCALES:
NTS

DRAWN: SB	CHECKED: AW	DATE: 25/03/2021	REVISION: FINAL
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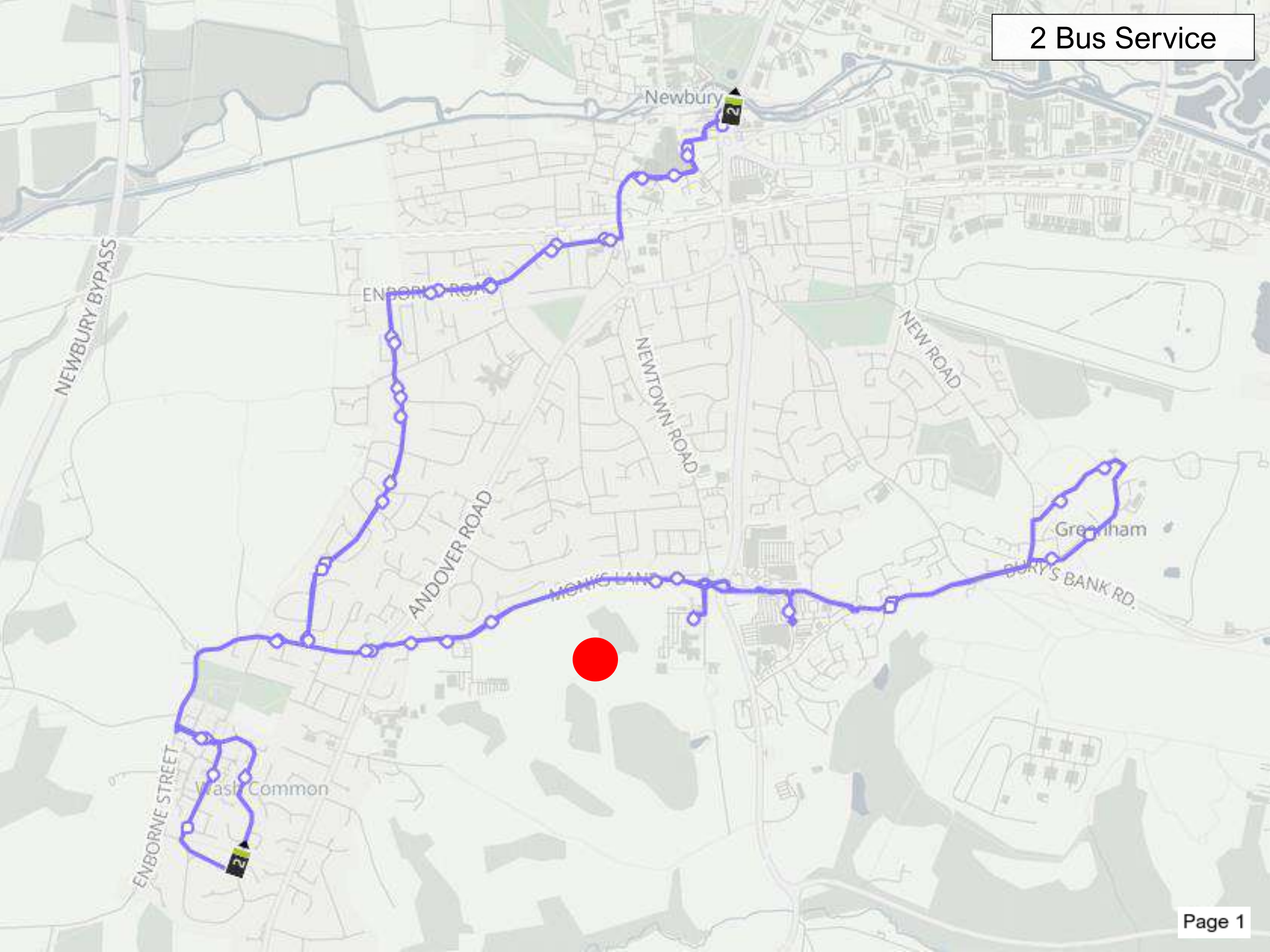
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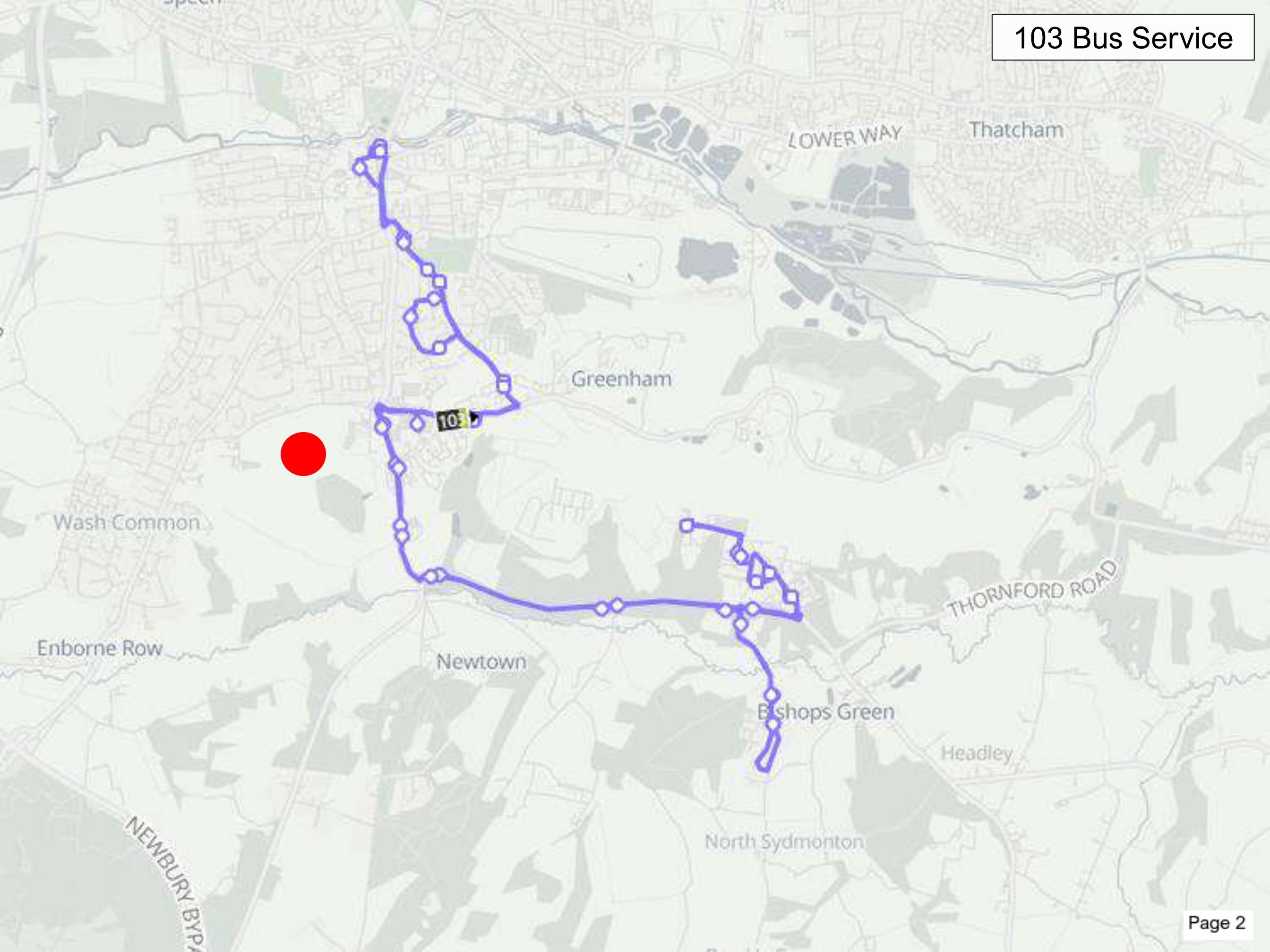
Appendix A

Bus Route Maps

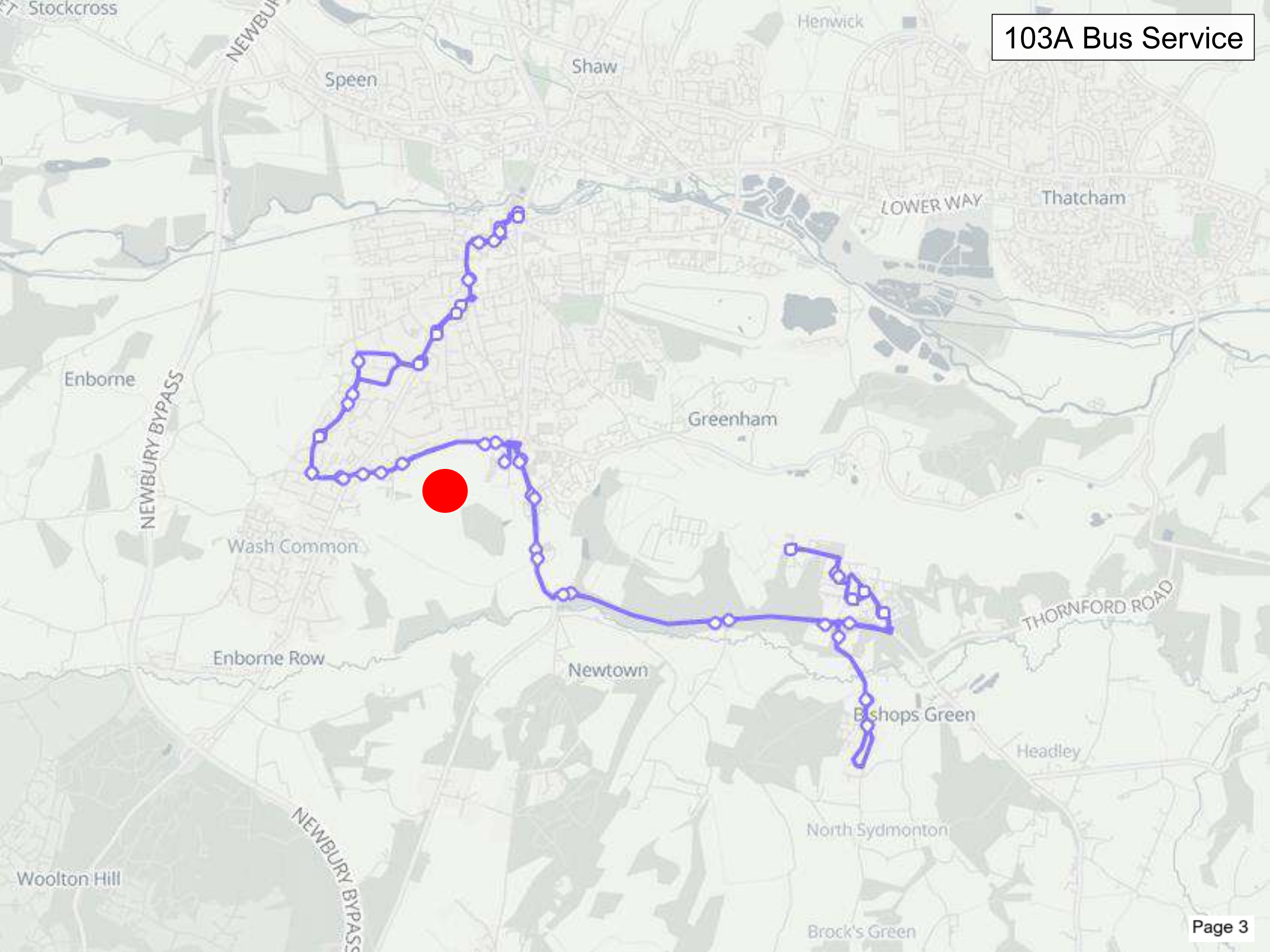
2 Bus Service



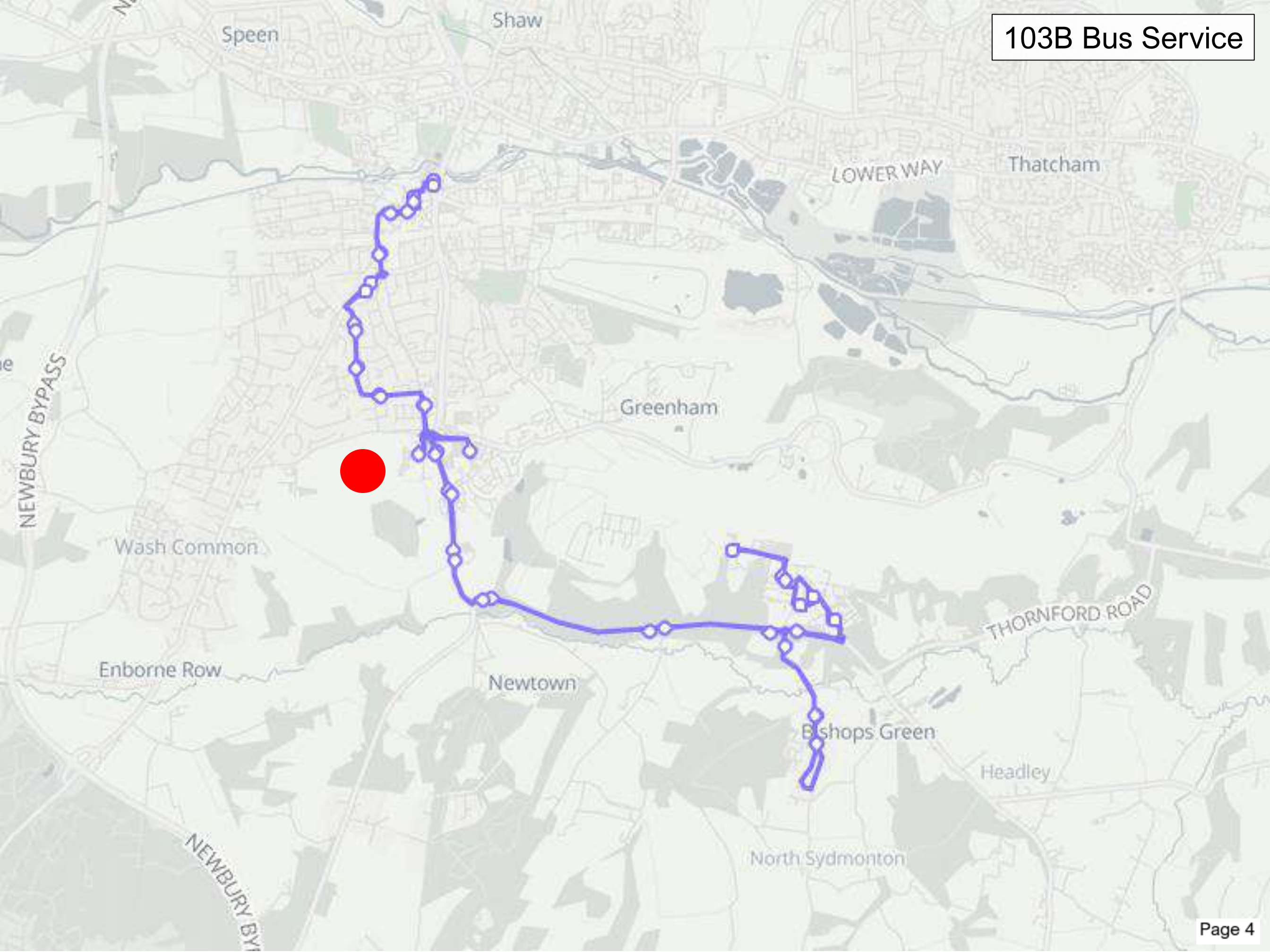
103 Bus Service



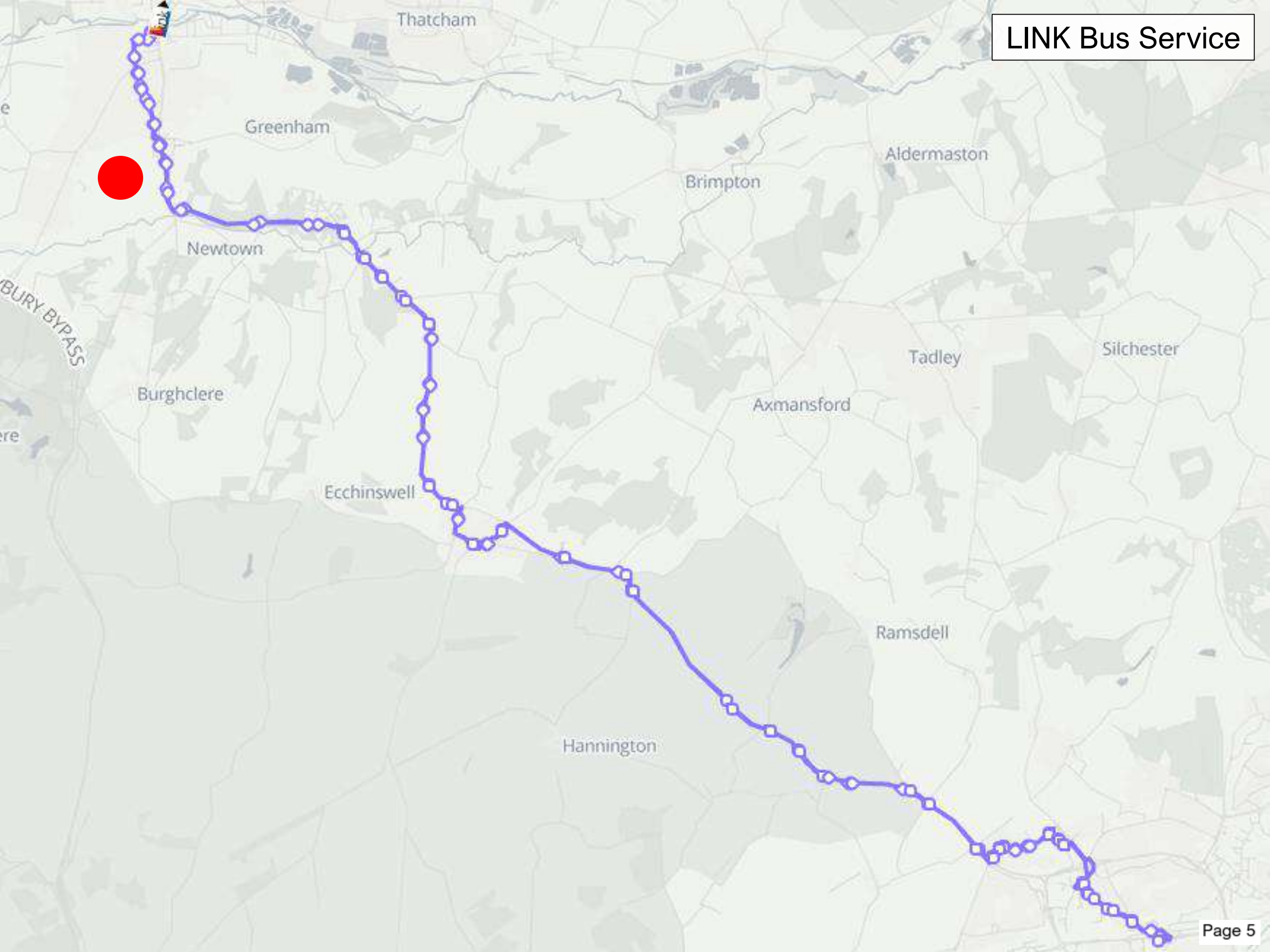
103A Bus Service



103B Bus Service

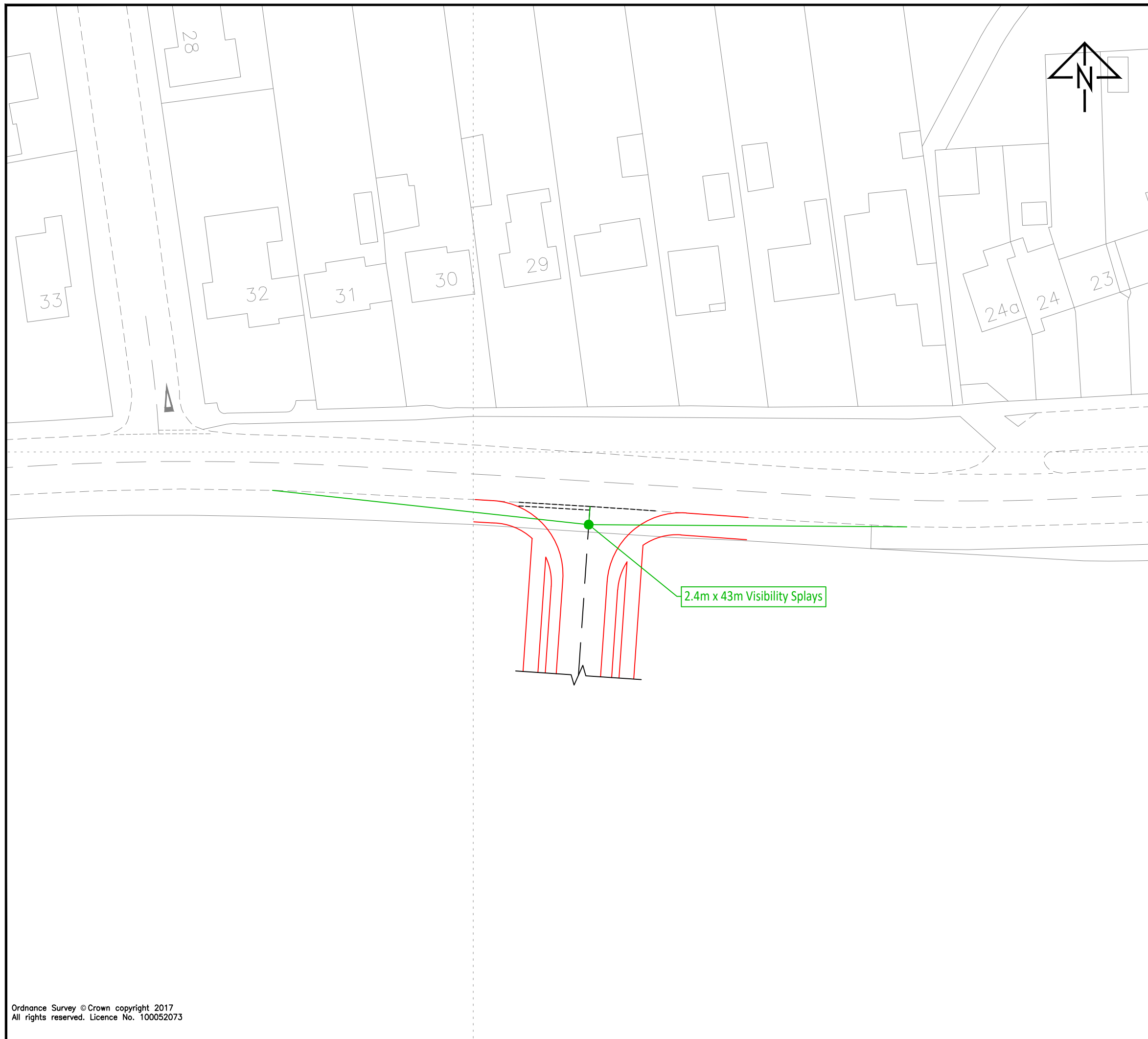


LINK Bus Service



Appendix B

Drawing 172985/A/07.1 Monks Lane Eastern Access



Notes:
1. Drawing is subject to Section 278 Agreement

REV.	A	Visibility splays added	CJM	TF	23.09.2020
		DETAILS	DRAWN	CHECKED	DATE

CLIENT:
Bloor Homes

PROJECT:
**Sandleford Park
Newbury**

DRAWING TITLE:
Eastern Site Access

SCALES:
1:500 at A3

DRAWN:	TF	CHECKED:	ES	DATE:	13.03.2018
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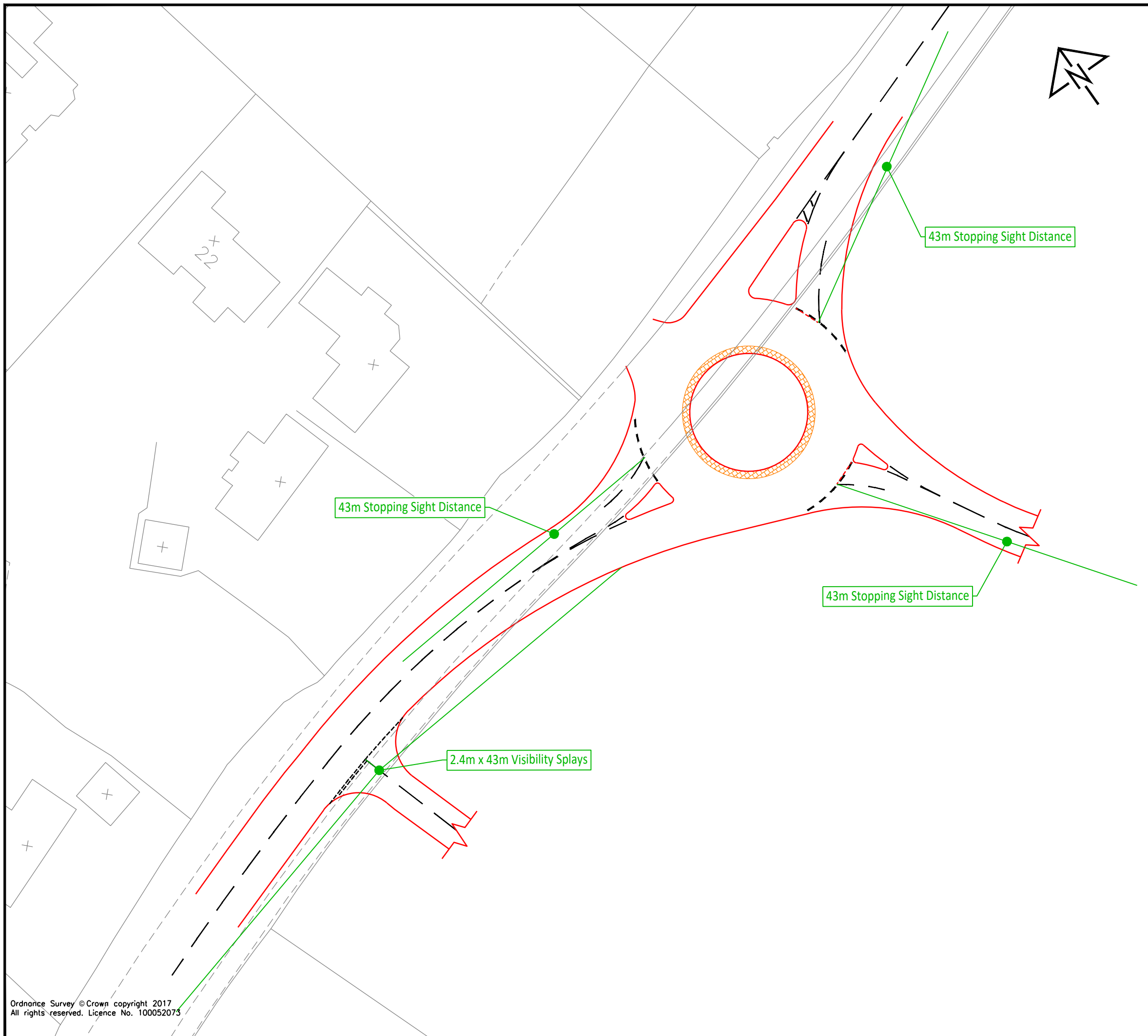
DRAWING NUMBER:	172985/A/07.1	REVISION:	A
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Appendix C

Drawing 172895/A/08 Rev A Monks Lane Western Access



Notes:

1. Drawing is subject to Section 278 agreement

REV.	DETAILS	DRAWN	CHECKED	DATE
A	Visibility splays added	CJM	TF	23.09.2020

CLIENT:
Bloor Homes

PROJECT:
**Sandleford Park
Newbury**

DRAWING TITLE:
Western Junction Access

SCALES:
1:500 at A3

DRAWN: SC CHECKED: AW DATE: 19/03/2018

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DRAWING NUMBER: **172985/A/08** REVISION: **A**

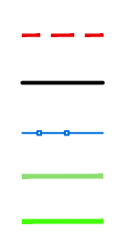
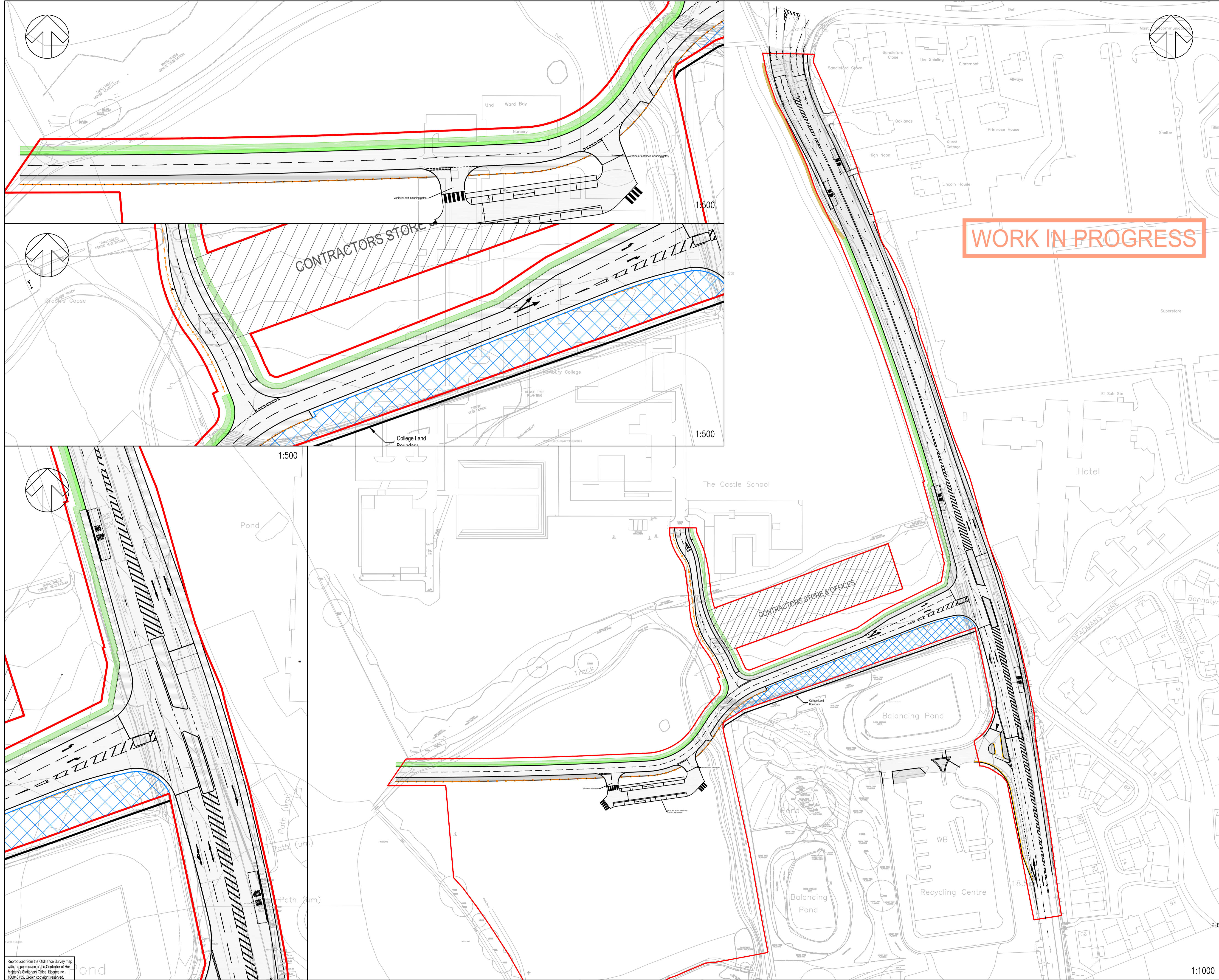
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Appendix D

Drawing 4768-SK-100 Rev B A339 College Access

DO NOT SCALE



REV	DATE	BY	DESCRIPTION	CHK	APP
B	30/11/2017	AMS	DESIGN AMENDMENTS - CLIENT'S COMMENTS	FL	SB
A	16/11/2017	AMS	FIRST ISSUE	FL	SB

DRAWING STATUS: FOR INFORMATION ONLY

wsp
 Regus House, Southampton International Business Park
 George Curl Way, Southampton, Hampshire, SO18 2RZ
 Tel: +44 (0)2380 302529 Fax: +44 (0)2380 302001
 www.wsp.com

CLIENT: West Berkshire Council

ARCHITECT: -

PROJECT: A339 Sandleford, Newbury

TITLE: General Arrangement Plan

SCALE @ A1:	AS SHOW	CHECKED:	FL	APPROVED:	SB
CAD FILE:	PL011-27599-010 ROAD LAYOUT - REV C	DESIGN/DRAWN:	AMS	DATE:	September 2017

PROJECT No:	DRAWING No:	REV:
70034768	4768-SK-100	B

1:1000

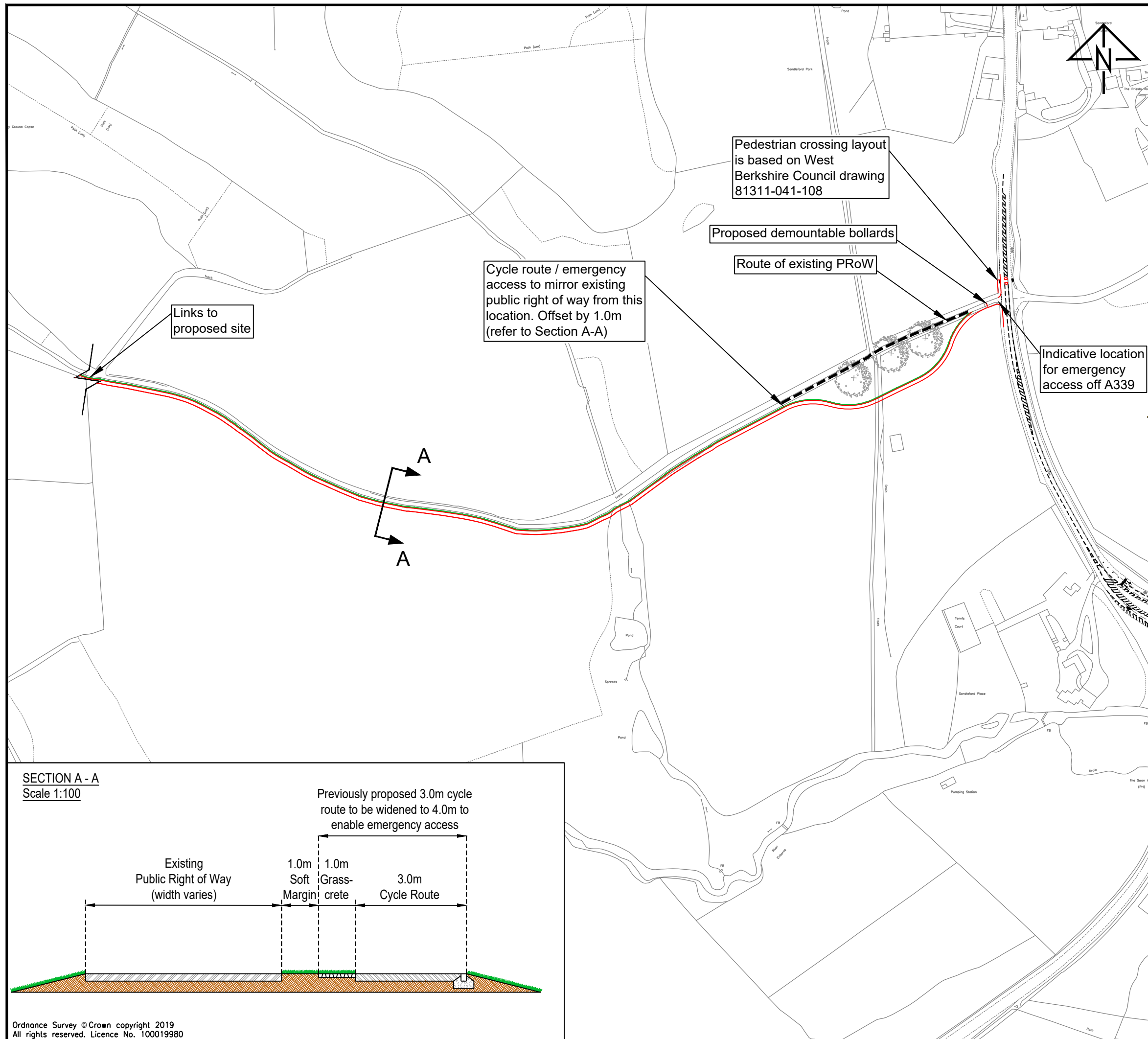
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X:\PROJECTS\170000\172985 - SANDLEFORD PARK (INCOMING) WEST BERKSHIRE COUNCIL\2018-01-23 - A339-NEW COLLEGE ACCESS JUNCTION\PL011-27599-010 ROAD LAYOUT - REV C.DWG 24/01/2018 09:36:59 David Noyce

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Appendix E

Drawing 172985/A/15 A339 Emergency Access Route Plan



- Notes:**
1. This is not a construction drawing and is intended for illustrative purposes only.
 2. White lining is indicative only.

REV.	DETAILS	DRAWN	CHECKED	DATE
-	-	-	-	-

CLIENT:
Bloor Homes

PROJECT:
Sandleford Park, Newbury

DRAWING TITLE:
**Illustrative Cycle Route /
Emergency Access
Option 3**

SCALES:
NTS / 1:100 at A3

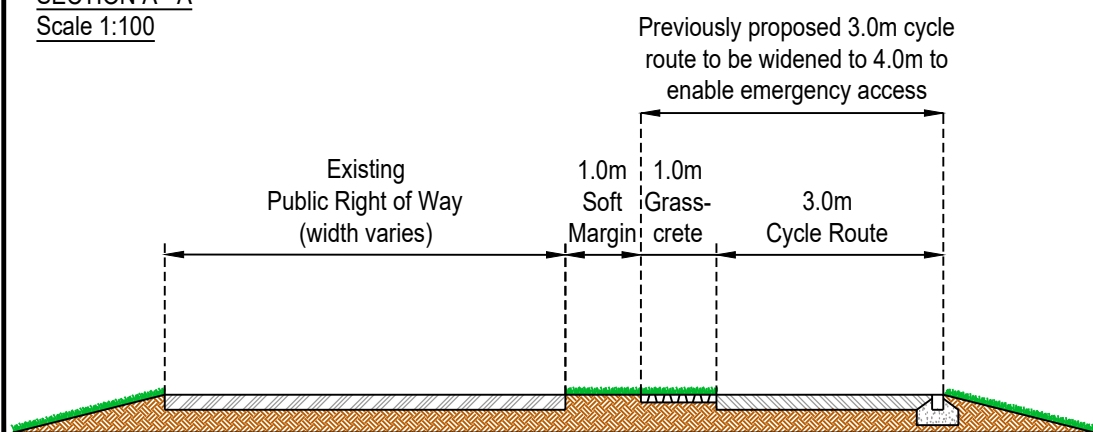
DRAWN: **JB** CHECKED: **AW** DATE: **17.10.2019**



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DRAWING NUMBER: **172985/A/15** REVISION: **-**

SECTION A - A
Scale 1:100



Appendix F

Correspondence with West Berkshire Fire Service

From:
Sent:
To:
Subject:

[517103]
**New development, Sandford Park, Newbury
Planning Act**

Dear

Fire safety and fire-fighting access are not planning matters and RBFRS will respond on fire-related details when consulted under Building Regulations.

Fire-fighting access must comply with B/Regs Approved Document B5 and your layout attachment appears likely to comply.

RBFRS vehicle weights = 16tonnes Pump and 23tonnes High Reach.

Regards,

I'm emailing regarding the proposed residential development at Sandford Park, Newbury. I understand you have already provided a consultation response to the planning application in June 2020; however, for your information I have provided a brief summary of the proposals below.

A planning application was submitted in March 2020 by Bloor Homes to provide up to 1,000 dwellings, primary school and local centre. As part of the application, it is proposed to create three new vehicle accesses, two from Monks Lane and one from the A339. I have attached an illustrative masterplan for your information.

The land to the west (to the left of the red line) forms part of the Local Plan allocation but does not form part of the Bloor application.

The Bloor Homes planning application has subsequently been refused planning permission and Bloor Homes are now considering appealing this decision.

Whilst not a reason for refusal, one of the points we wish to clarify with yourselves is the proposed emergency access strategy.

As set out within the submitted Transport Assessment, the proposed site is divided by a shallow valley, which separates the northern part of the site fronting onto Monks Lane and the southern part of the site, which will accommodate the proposed local centre. The current proposals for up to 1,000 units comprises' approximately 500 units within each the northern and southern parts of the site, which will be linked via a valley crossing.

For the northern part of the site there will be three access points which will adequately provide an emergency access strategy.

The southern part of the site will be connected to the northern part by a road, partly on structure which will have a paved width of 13m (9m carriageway and 4m footway). We consider that this provides a sufficiently robust main and emergency access to serve 500 units since it is highly unlikely that the entirety of the width would be blocked by any emergency.

In addition, an existing public right of way (PROW) runs east to west through the site and provides a connection for pedestrians from the A339 via an existing farm access/turnstile (opposite the access to the St Gabriel's School) to the A343 Andover Road via Warren Road to the west.

As part of proposals to improve cycle accessibility, it is proposed to provide a cycle route adjacent to the PROW, which would extend through the site from the A339 and link to the central part of the proposed development. It is considered that the proposed cycleway could also be used as an emergency access. The proposed cycleway could provide a 4m wide surfaced route extending from the A339 to the central part of the proposed site. Droppable bollards will be provided to ensure that the access isn't used by non-emergency vehicles. I have attached an illustrative plan of the proposed route. We consider this route provides an acceptable backup emergency access if considered necessary.

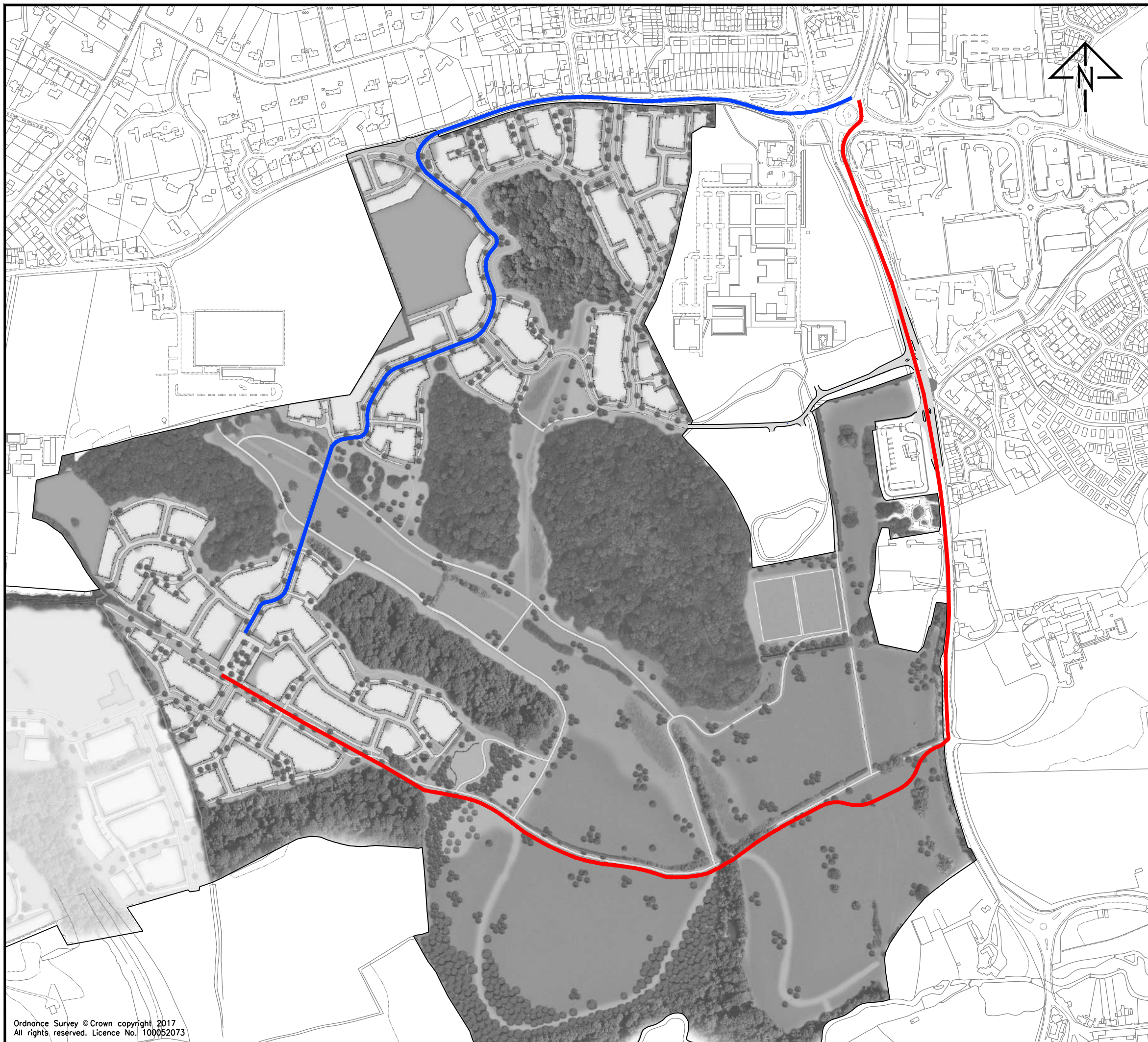
Therefore, in summary, we consider the valley crossing route with a width of 13m provides an acceptable emergency access route. However, if a further back-up was required then this would be provided by the cycle route.

It would be greatly appreciated if you could review our proposals at your earliest convenience and confirm whether the valley crossing route is sufficient for your purposes or whether the additional cycle route is also required. Please feel free to contact me if you have any queries.

Thanks

Appendix G

Drawing 172985/A/19 Emergency Access Distance Plan



- Notes:**
1. This is not a construction drawing and is intended for illustrative purposes only.
 2. White lining is indicative only.

Key

- Route distance 1622m
- Route distance 2179m

REV.	DETAILS	DRAWN	CHECKED	DATE

CLIENT:
Bloor Homes

PROJECT:
**Sandleford Park
Newbury**

DRAWING TITLE:
**A339 Pinchington Lane
junction to the Local Centre
within the Site**

SCALES:
1:5500 at A3

DRAWN: PP CHECKED: AW DATE: 09.03.2021

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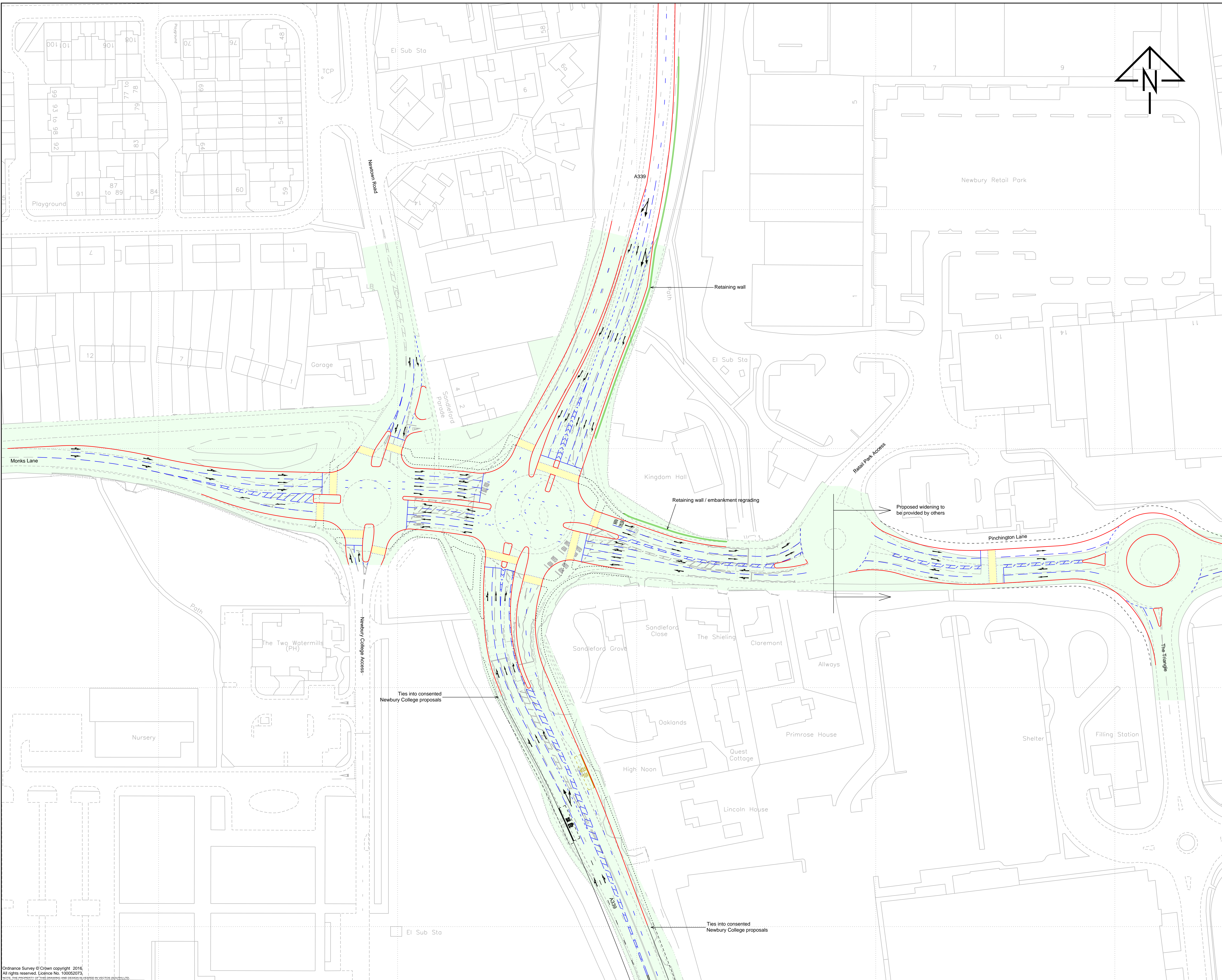
DRAWING NUMBER: **172985/A/19** REVISION: .

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Appendix H

Drawing 172985/A/01 Rev C A339/Pinchington Lane Junction Highway Improvement



Notes:
 1. This is not a construction drawing and is intended for illustrative purposes only.
 2. White Brng is indicative only.

REV	DETAILS	DRAWN	CHECKED	DATE
C	Revisions following additional modelling	DSN	AW	15.12.2017
B	Revisions following comments from WBC	DSN	KH	7.3.2018
A	Junctions revised following initial comments from WBC	DSN	KH	13.12.2017

CLIENT: **Bloor Homes**

PROJECT: **SANDLEFORD PARK NEWBURY**

DRAWING TITLE: **A339 / Pinchington Lane / Monks Lane Junction Possible Signalisation Scheme**

SCALE: **1:500 at A0**

DRAWN	DSN	CHECKED	DATE	27.10.2017	REVISION:
					C

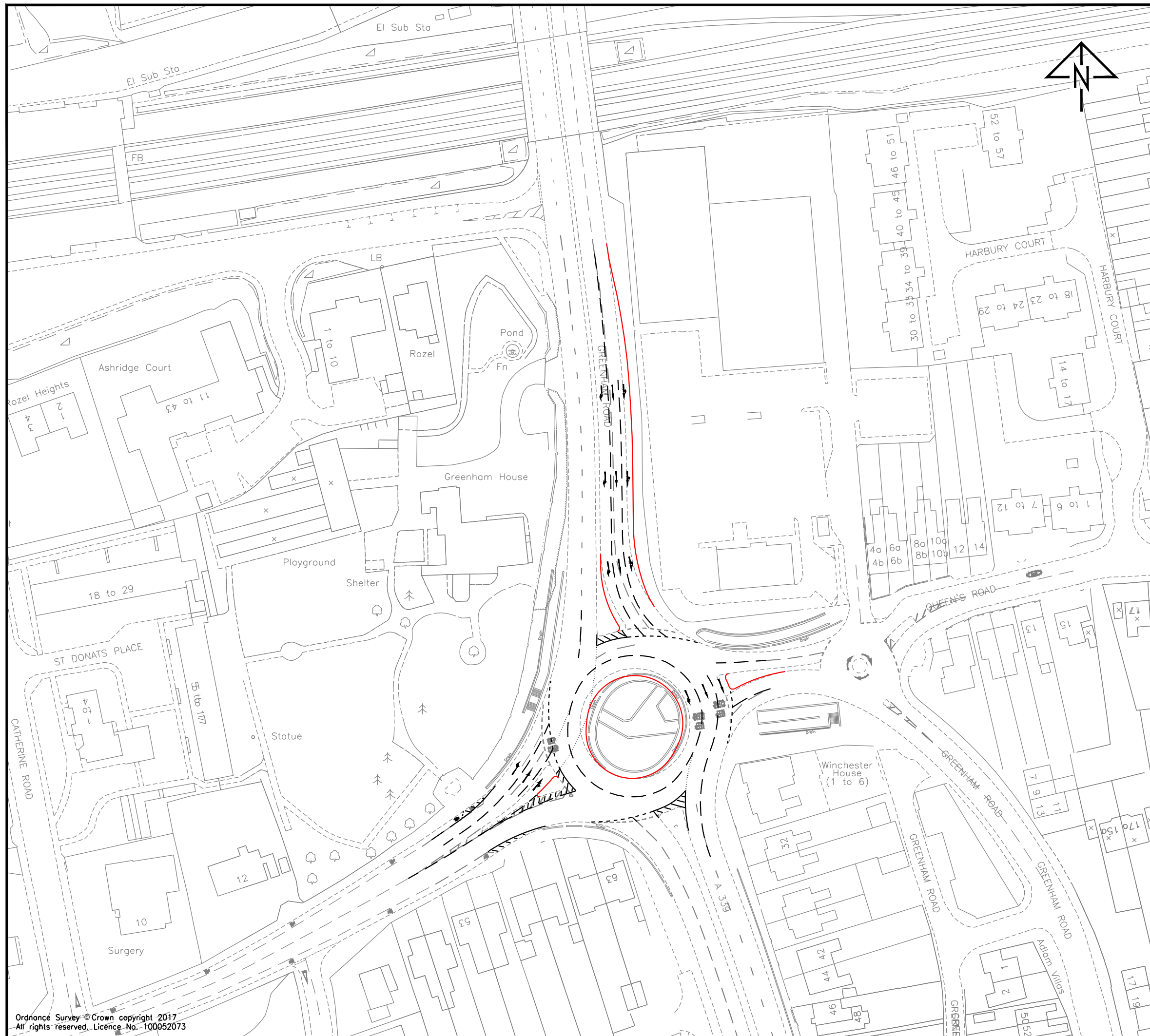
DRAWING NUMBER: **172985/A/01**

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 t: 020 7580 7373 e: enquiries@vectoros.co.uk

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Appendix I

Drawing 172985/A/12 St Johns Road Highway Improvement Plan



Notes:

1. This is not a construction drawing and is intended for illustrative purposes only.
2. White lining is indicative only.

REV.	DETAILS	DRAWN	CHECKED	DATE

CLIENT:
Bloor Homes

PROJECT:
**Sandleford Park
Newbury**

DRAWING TITLE:
**Proposed Capacity Improvements
A339 / A343 Roundabout**

SCALES:
1:1000 at A3

DRAWN: JM CHECKED: AW DATE: 21.06.2019



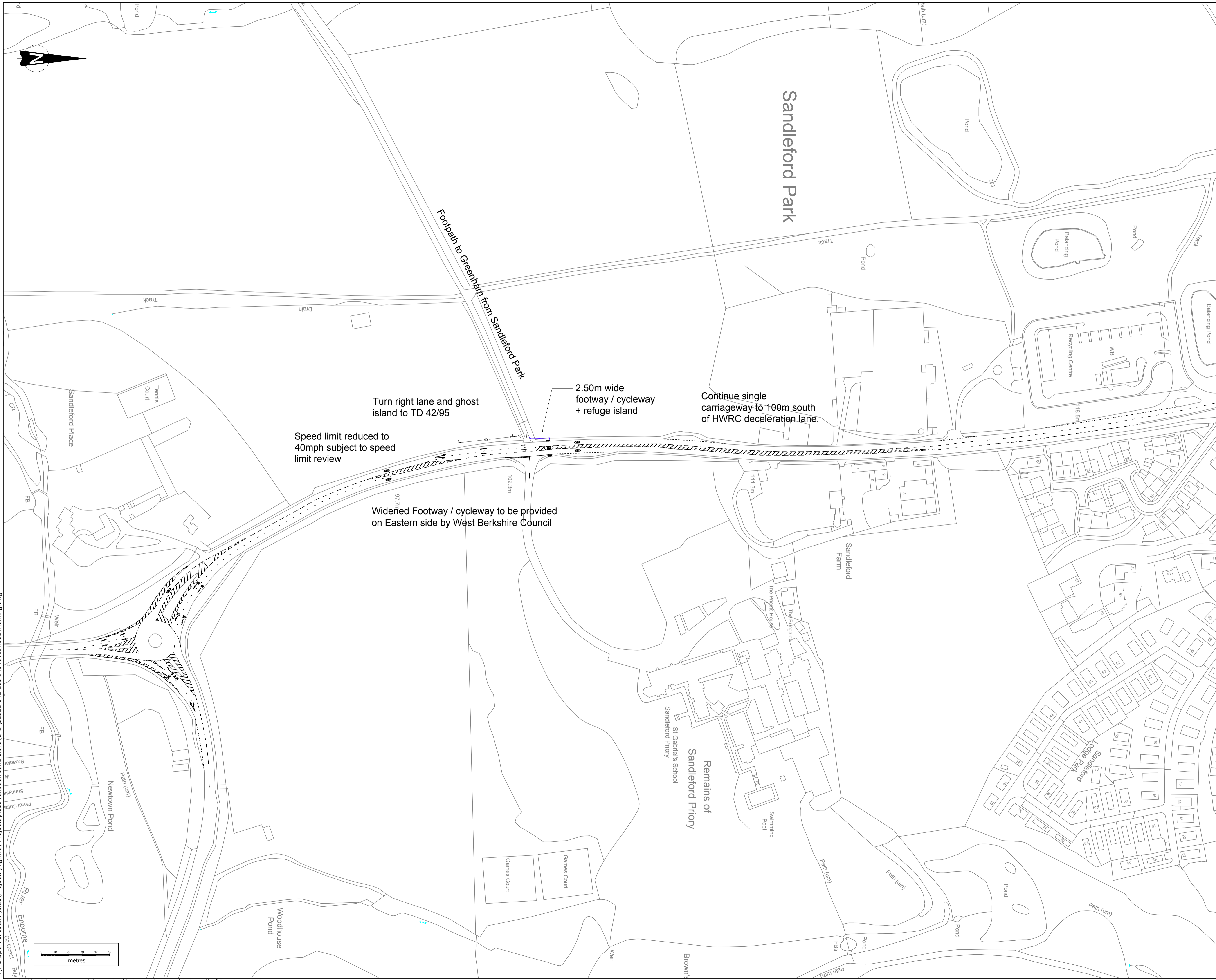
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DRAWING NUMBER: **172985/A/12** REVISION: .

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Appendix J

Drawing 81311-041-108 Swan Roundabout Improvement Plan



KEY

— Road Markings

NOTES

- 1) All dimensions are shown in metres unless shown otherwise.
- 2) This drawing shows a proposed option and is subject to change following the location, depth and height of existing utility services.
- 3) WBC Standard Details must be adhered to at all times unless specified by a WBC Engineer.
- 4) Prior to any excavations the contractor will establish the location of existing utility services.

DRAFT

B			
A			
REV	DESCRIPTION	DR	AU
Status			



Transport & Countryside | Council Offices
Market Street | Newbury | RG14 5LD

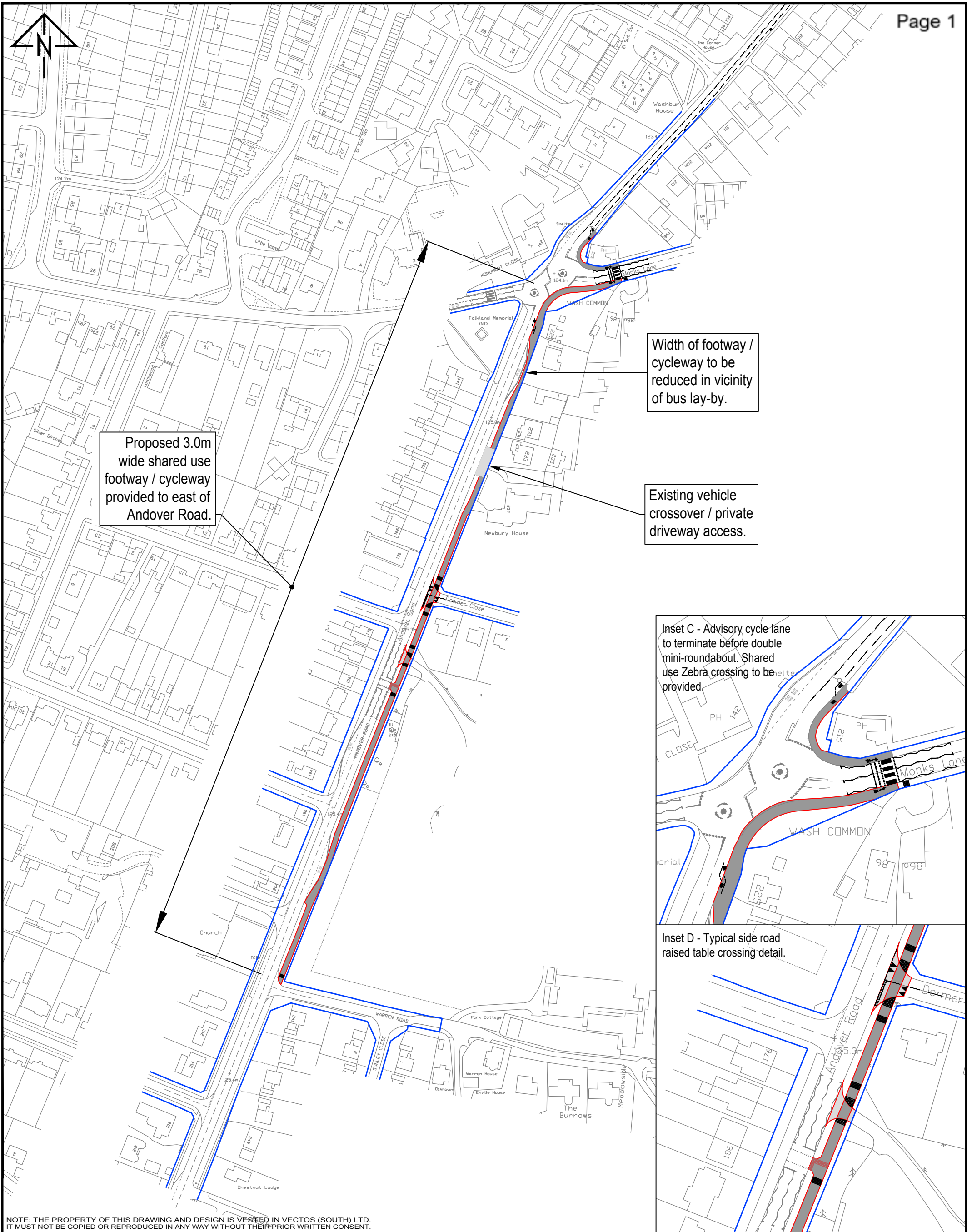
Project Title				
A339 Sandeleford				
Drawing Title				
A339/B4640 Junction Road Marking				
Date	Drawn By	Checked By	Paper Size	Drawing Scale
18/04/2016	AT	NS	A1	1:1250
Drawing Number			Revision	
81311-041-108				

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I:\Transport & Countryside\Projects\Highway Projects\A339 Junction Sandeleford\CAD\81311-041-108 B4640 Jct Road Marking.dwg

Appendix K

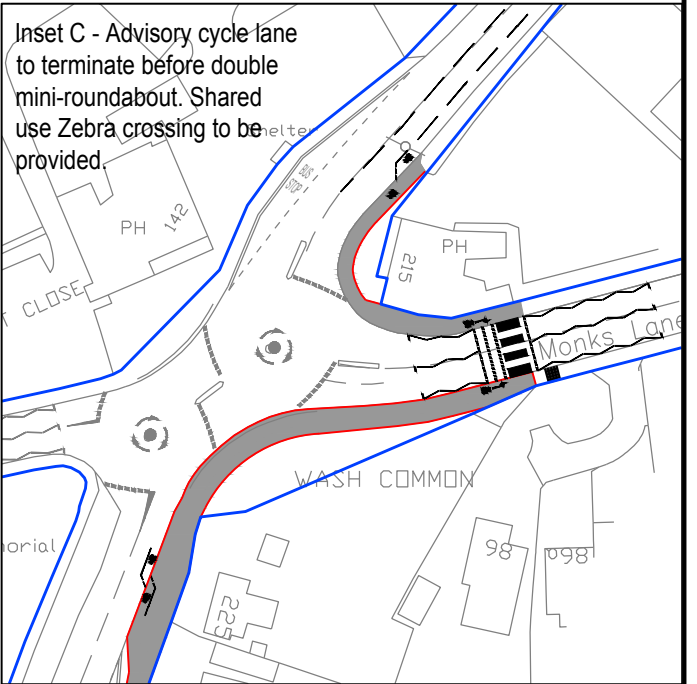
Drawings of Highway Mitigation to be Secured for Development of Remainder of SSSA



Width of footway / cycleway to be reduced in vicinity of bus lay-by.

Proposed 3.0m wide shared use footway / cycleway provided to east of Andover Road.

Existing vehicle crossover / private driveway access.



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REV	DETAILS	DRAWN	CHECKED	DATE
A	Highway Boundary added	PP	AW	02.08.2019
B	Design amended to suit Highway Boundary	PP	AW	21.08.2019

Notes:
 1. This is not a construction drawing and is intended for illustrative purposes only.
 2. White lining is indicative only.

Key:
 Highway Boundary

SANDLEFORD PARK, NEWBURY

Proposed Cycle Route (2 of 2)

DRAWN: TF	CHECKED: KH	DATE: 16.01.2017	SCALES: 1:2000 / 1:1000 at A3
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Bloor Homes

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 t: 020 7580 7373 e: enquiries@vectos.co.uk

DRAWING NUMBER: 172985/A/05.2	REVISION: B
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INSET A
Scale - 1:250

Scale - 1:1000



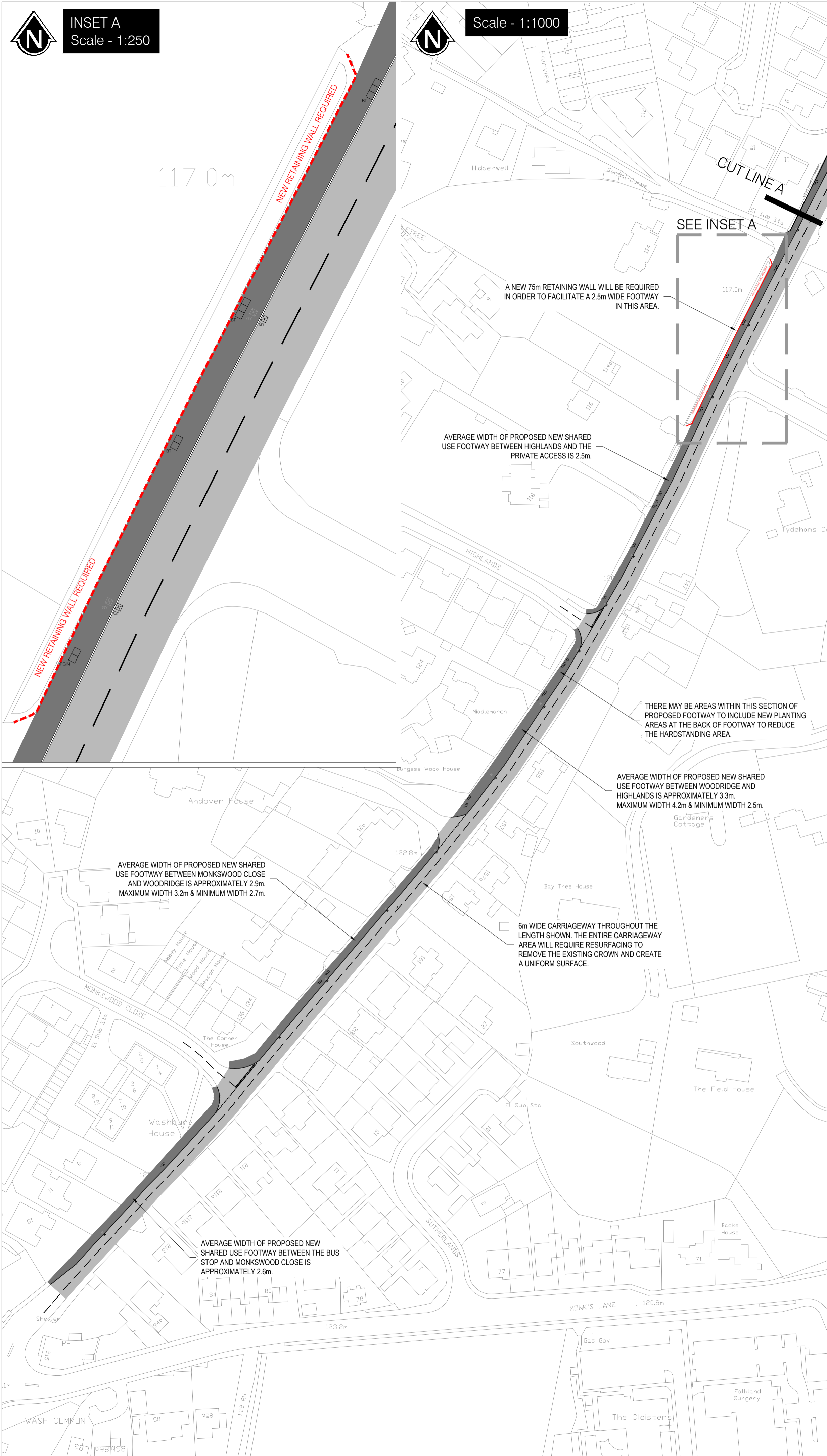
KEY

Page 2

-  PROPOSED SHARED USE FOOTWAY
-  PROPOSED CARRIAGEWAY AREA
-  PROPOSED PLANTING AREA
-  NEW RETAINING WALL

NOTES

1. DO NOT SCALE FROM THIS DRAWING.
2. ALL DIMENSIONS ARE SHOWN IN METRES UNLESS SHOWN OTHERWISE.
3. THIS DRAWING SHOWS A PROPOSED FEASIBILITY OPTION AND IS SUBJECT TO CHANGE.
4. WBC STANDARD DETAILS MUST BE ADHERED TO AT ALL TIMES UNLESS SPECIFIED BY THE OVERSEEING ORGANISATION.
5. THE FOOTWAY WIDTHS SHOWN WITHIN THE COMMENTS MAY VARY DUE TO THE INACCURACY OF THE OS MAPPING. A MINIMUM FOOTWAY WIDTH OF 2.5m IS ACHIEVABLE THROUGHOUT EXCEPT IN ONE SMALL AREA ADJACENT TO THE EXISTING CONCRETE RETAIN WALL WHERE A WIDTH OF 2.3m IS SHOWN.
6. THE CARRIAGEWAY WIDTH SHOULD BE A MINIMUM OF 6m IN WIDTH.
7. A NUMBER OF EXISTING GULLIES, UTILITY COVERS/APPARATUS AND OTHER INFRASTRUCTURE WILL REQUIRE RELOCATION/RECONSTRUCTION TO FACILITATE A NEW SHARED USE FOOTWAY.



117.0m

NEW RETAINING WALL REQUIRED

CUT LINE A

SEE INSET A

A NEW 75m RETAINING WALL WILL BE REQUIRED IN ORDER TO FACILITATE A 2.5m WIDE FOOTWAY IN THIS AREA.

AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN HIGHLANDS AND THE PRIVATE ACCESS IS 2.5m.

THERE MAY BE AREAS WITHIN THIS SECTION OF PROPOSED FOOTWAY TO INCLUDE NEW PLANTING AREAS AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN WOODRIDGE AND HIGHLANDS IS APPROXIMATELY 3.3m. MAXIMUM WIDTH 4.2m & MINIMUM WIDTH 2.5m.

AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN MONKSWOOD CLOSE AND WOODRIDGE IS APPROXIMATELY 2.9m. MAXIMUM WIDTH 3.2m & MINIMUM WIDTH 2.7m.

6m WIDE CARRIAGEWAY THROUGHOUT THE LENGTH SHOWN. THE ENTIRE CARRIAGEWAY AREA WILL REQUIRE RESURFACING TO REMOVE THE EXISTING CROWN AND CREATE A UNIFORM SURFACE.

AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN THE BUS STOP AND MONKSWOOD CLOSE IS APPROXIMATELY 2.6m.

DRAFT

A	07/08/19	Increased carriageway lane widths to 3m and reduced parking bays to 1.8m wide at the northern end adjacent to the terrace properties.	DW	PG
REV	REV DATE	DESCRIPTION	DR	AU



TRANSPORT AND COUNTRYSIDE COUNCIL OFFICES - MARKET STREET - NEWBURY - RG14 5LD				
PROJECT TITLE ANDOVER ROAD NEWBURY PROPOSED S278 WORKS				
DRAWING TITLE PROPOSED HIGHWAY IMPROVEMENTS OPTION 1 PLAN 1 OF 3				
DATE	DRAWN BY	CHECKED BY	PAPER SIZE	SCALE
AUGUST 2019	DW	PG	A2	AS SHOWN
DRAWING NUMBER	REVISION			
18/00828/S278/PH/OP1/P1	A			

I:\Transport & Countryside\Network Management Team (Highways)\Schemes\A343 Andover Road\CAD\Facility\Option 1\A343 Andover Road - Option 1 - REV A.dwg



INSET B
Scale - 1:250



Scale - 1:1000

KEY

Page 3

- PROPOSED SHARED USE FOOTWAY
- PROPOSED CARRIAGEWAY AREA
- PROPOSED PLANTING AREA
- NEW RETAINING WALL

NOTES

1. DO NOT SCALE FROM THIS DRAWING.
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5. THE FOOTWAY WIDTHS SHOWN WITHIN THE COMMENTS MAY VARY DUE TO THE INACCURACY OF THE OS MAPPING. A MINIMUM FOOTWAY WIDTH OF 2.5m IS ACHIEVABLE THROUGHOUT EXCEPT IN ONE SMALL AREA ADJACENT TO THE EXISTING CONCRETE RETAIN WALL WHERE A WIDTH OF 2.3m IS SHOWN.
6. THE CARRIAGEWAY WIDTH SHOULD BE A MINIMUM OF 6m IN WIDTH.
7. A NUMBER OF EXISTING GULLIES, UTILITY COVERS/APPARATUS AND OTHER INFRASTRUCTURE WILL REQUIRE RELOCATION/RECONSTRUCTION TO FACILITATE A NEW SHARED USE FOOTWAY.

SECTIONS OF EXISTING VERGE BEHIND THE FOOTWAY WILL NEED TO BE REMOVED IN ORDER TO CONSTRUCT A NEW SHARED USE FOOTWAY.

CARRIAGEWAY WIDENS NORTH OF BARTLEMY ROAD TO PROVIDE SUFFICIENT WIDTH PAST THE PROPOSED PARKING BAYS. THE ENTIRE CARRIAGEWAY AREA WILL REQUIRE RESURFACING TO REMOVE THE EXISTING CROWN AND CREATE A UNIFORM SURFACE.

THERE MAY BE AREAS WITHIN THIS SECTION OF PROPOSED FOOTWAY TO INCLUDE NEW PLANTING AREAS AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

PROPOSED FOOTWAY ONLY 2.3m WIDE IN THIS SMALL AREA HEADING NORTH. FOOTWAY WIDENS OUT TO FACILITATE A MINIMUM WIDTH OF 2.5m NORTH OF THIS LOCATION.

AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN FOOTPATH SOUTH OF THE JUNCTION WITH KINGSLAND GRANGE AND BARTLEMY ROAD IS APPROXIMATELY 4.1m. MAXIMUM WIDTH 5.2m & MINIMUM WIDTH 3.1m.

PROPOSED NEW PLANTING AREA AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

THERE MAY BE AREAS WITHIN THIS SECTION OF PROPOSED FOOTWAY TO INCLUDE NEW PLANTING AREAS AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

PROPOSED NEW PLANTING AREA AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN FOOTPATH SOUTH OF 9 KINGSLAND GRANGE AND THE JUNCTION WITH KINGSLAND GRANGE IS APPROXIMATELY 4m. MAXIMUM WIDTH 5m & MINIMUM WIDTH 3.1m.

PROPOSED NEW PLANTING AREA AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

6m WIDE CARRIAGEWAY THROUGHOUT THE LENGTH SHOWN. THE ENTIRE CARRIAGEWAY AREA WILL REQUIRE RESURFACING TO REMOVE THE EXISTING CROWN AND CREATE A UNIFORM SURFACE.

SEE INSET B

DRAFT

REV	DATE	DESCRIPTION	DR	AU
A	07/08/19	Increased carriageway lane widths to 3m and reduced parking bays to 1.8m wide at the northern end adjacent to the terrace properties.	DW	PG



TRANSPORT AND COUNTRYSIDE
COUNCIL OFFICES - MARKET STREET - NEWBURY - RG14 5LD

PROJECT TITLE
**ANDOVER ROAD NEWBURY
PROPOSED S278 WORKS**





DRAWING TITLE
**PROPOSED HIGHWAY IMPROVEMENTS
OPTION 1
PLAN 2 OF 3**

DATE	DRAWN BY	CHECKED BY	PAPER SIZE	SCALE
AUGUST 2019	DW	PG	A2	AS SHOWN

DRAWING NUMBER	REVISION
18/00828/S278/PHI/OP1/P2	A

I:\Transport & Countryside\Network Management Team (Highways)\HISchemes\A343 Andover Road\CAD\Fasibility\Option 1\A343 Andover Road - Option 1 - REV A.dwg

KEY

-  PROPOSED SHARED USE FOOTWAY
-  PROPOSED CARRIAGEWAY AREA
-  PROPOSED PLANTING AREA
-  NEW RETAINING WALL

NOTES

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6. THE CARRIAGEWAY WIDTH SHOULD BE A MINIMUM OF 6m IN WIDTH.
7. A NUMBER OF EXISTING GULLIES, UTILITY COVERS/APPARATUS AND OTHER INFRASTRUCTURE WILL REQUIRE RELOCATION/RECONSTRUCTION TO FACILITATE A NEW SHARED USE FOOTWAY.

DRAFT

REV	DATE	DESCRIPTION	DR	AU
A	07/08/19	Increased carriageway lane widths to 3m and reduced parking bays to 1.8m wide at the northern end adjacent to the terrace properties.	DW	PG

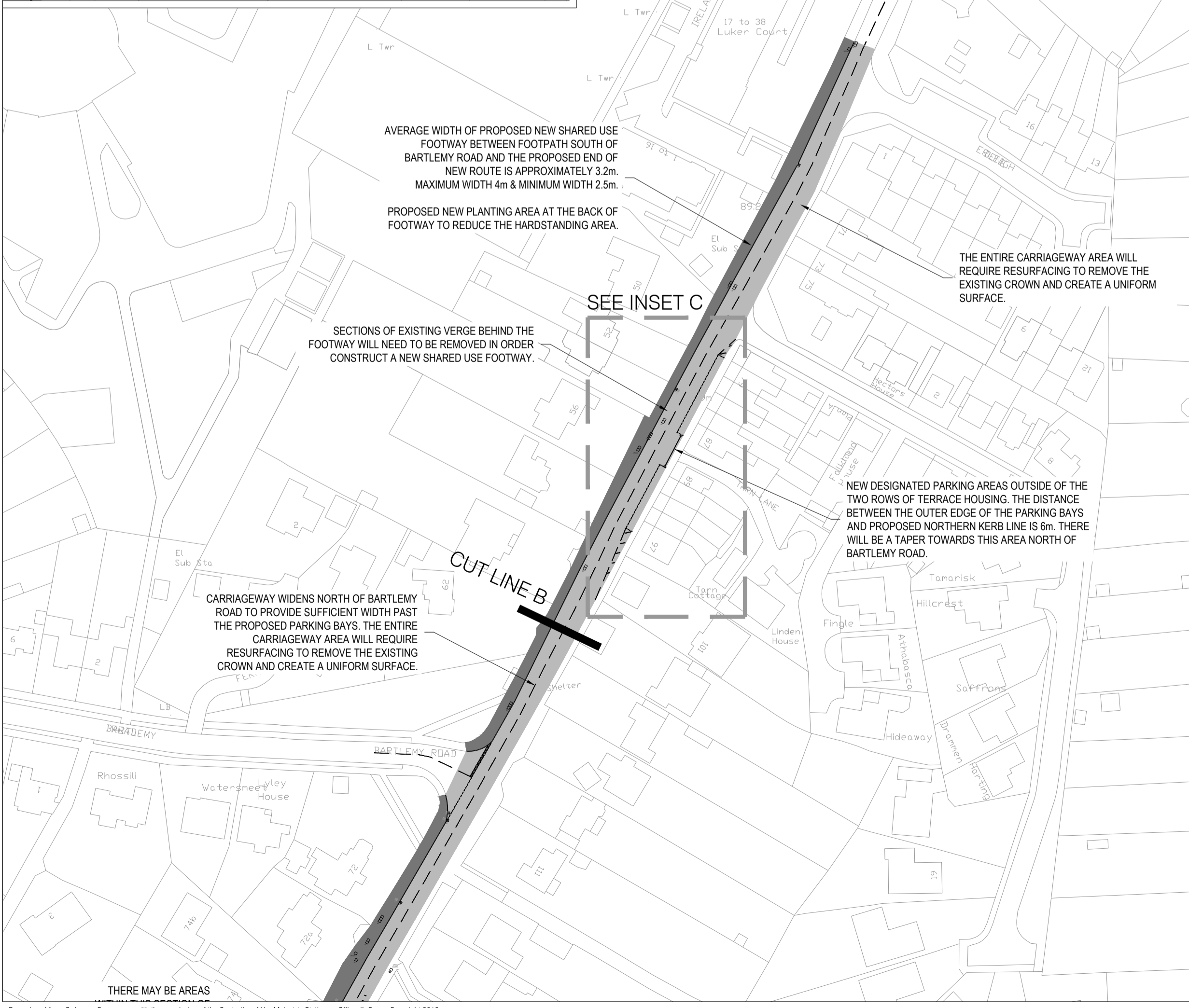
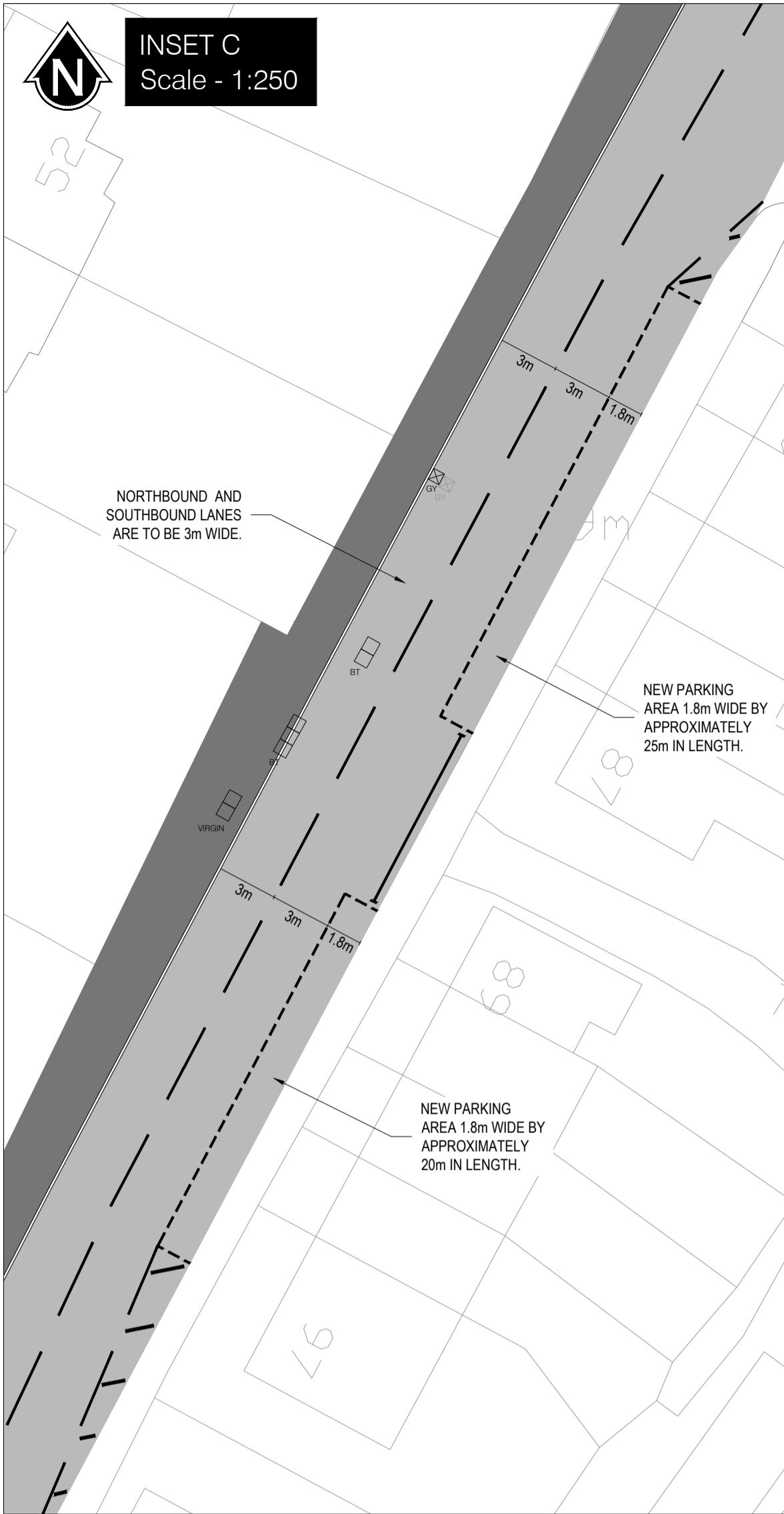


TRANSPORT AND COUNTRYSIDE COUNCIL OFFICES - MARKET STREET - NEWBURY - RG14 5LD				
PROJECT TITLE ANDOVER ROAD NEWBURY PROPOSED S278 WORKS				
DRAWING TITLE PROPOSED HIGHWAY IMPROVEMENTS OPTION 1 PLAN 3 OF 3				
DATE	DRAWN BY	CHECKED BY	PAPER SIZE	SCALE
AUGUST 2019	DW	PG	A2	1:1000
DRAWING NUMBER 18/00828/S278/PHI/OP1/P3				REVISION A

Scale - 1:1000



INSET C
Scale - 1:250



AVERAGE WIDTH OF PROPOSED NEW SHARED USE FOOTWAY BETWEEN FOOTPATH SOUTH OF BARTLEMY ROAD AND THE PROPOSED END OF NEW ROUTE IS APPROXIMATELY 3.2m. MAXIMUM WIDTH 4m & MINIMUM WIDTH 2.5m.

PROPOSED NEW PLANTING AREA AT THE BACK OF FOOTWAY TO REDUCE THE HARDSTANDING AREA.

SECTIONS OF EXISTING VERGE BEHIND THE FOOTWAY WILL NEED TO BE REMOVED IN ORDER TO CONSTRUCT A NEW SHARED USE FOOTWAY.

THE ENTIRE CARRIAGEWAY AREA WILL REQUIRE RESURFACING TO REMOVE THE EXISTING CROWN AND CREATE A UNIFORM SURFACE.

NEW DESIGNATED PARKING AREAS OUTSIDE OF THE TWO ROWS OF TERRACE HOUSING. THE DISTANCE BETWEEN THE OUTER EDGE OF THE PARKING BAYS AND PROPOSED NORTHERN KERB LINE IS 6m. THERE WILL BE A TAPER TOWARDS THIS AREA NORTH OF BARTLEMY ROAD.

CARRIAGEWAY WIDENS NORTH OF BARTLEMY ROAD TO PROVIDE SUFFICIENT WIDTH PAST THE PROPOSED PARKING BAYS. THE ENTIRE CARRIAGEWAY AREA WILL REQUIRE RESURFACING TO REMOVE THE EXISTING CROWN AND CREATE A UNIFORM SURFACE.





THERE MAY BE AREAS...

I:\Transport & Countryside\Network Management Team (Highways)\HI\Schemes\A343 Andover Road\CAD\FacilityOption 1\A343 Andover Road - Option 1 - REV A.dwg

NOTES

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- 4) WBC Standard Details must be adhered to at all times unless specified by the Overseeing Organisation.
- 5) Prior to any excavations the contractor will establish the location of existing utility services.

KEY

-  Highway boundary
-  Alterations to kerbline
-  New railing
-  Buff coloured tactile paving

DRAFT

REV	DESCRIPTION	DR	AU	REV DATE



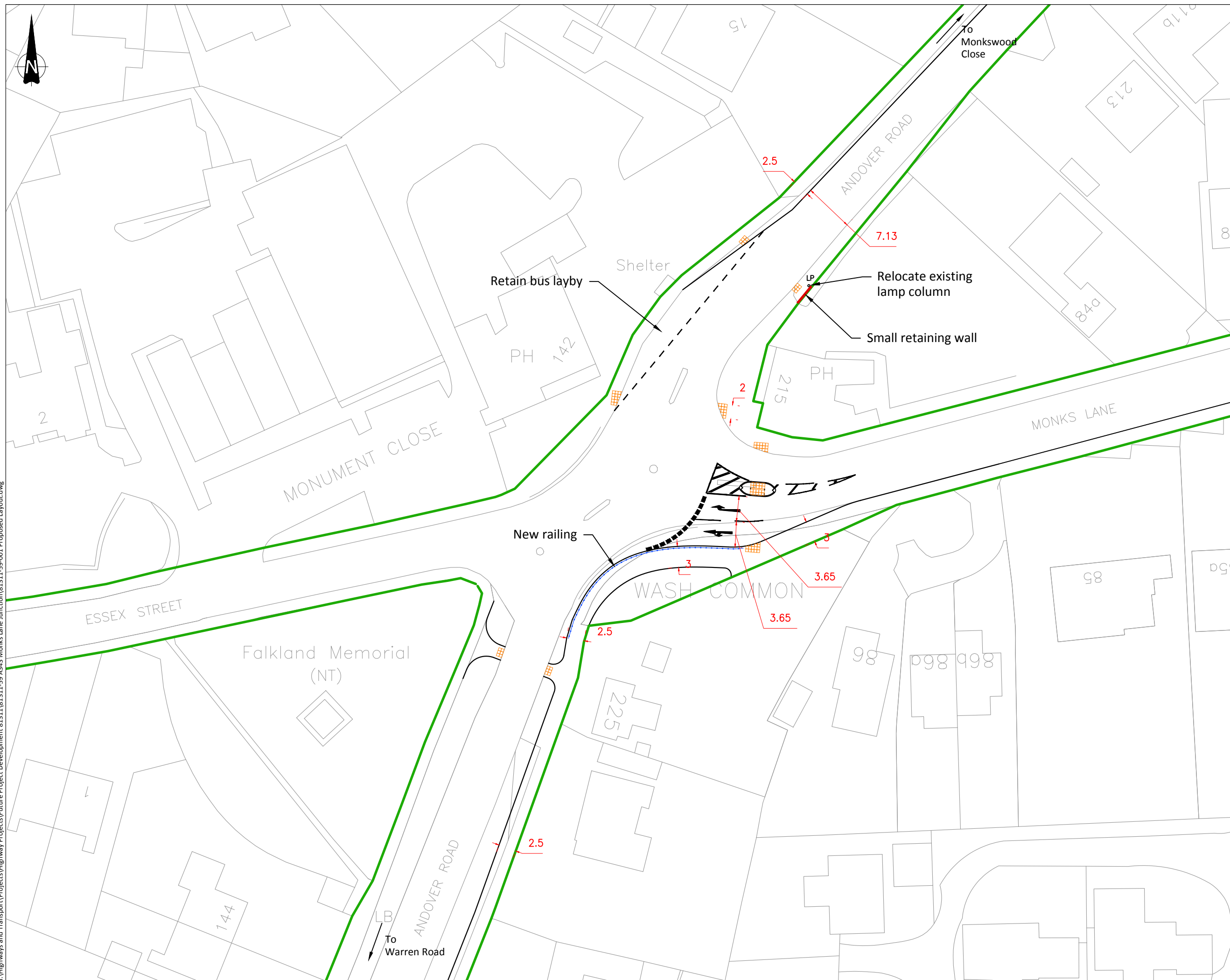
Transport and Countryside | Council Offices
Market Street | Newbury | RG14 5LD

Project Title
**A343 Monks Lane Junction
Pedestrian and Cycle Way Improvements**

Drawing Title
Proposed Layout

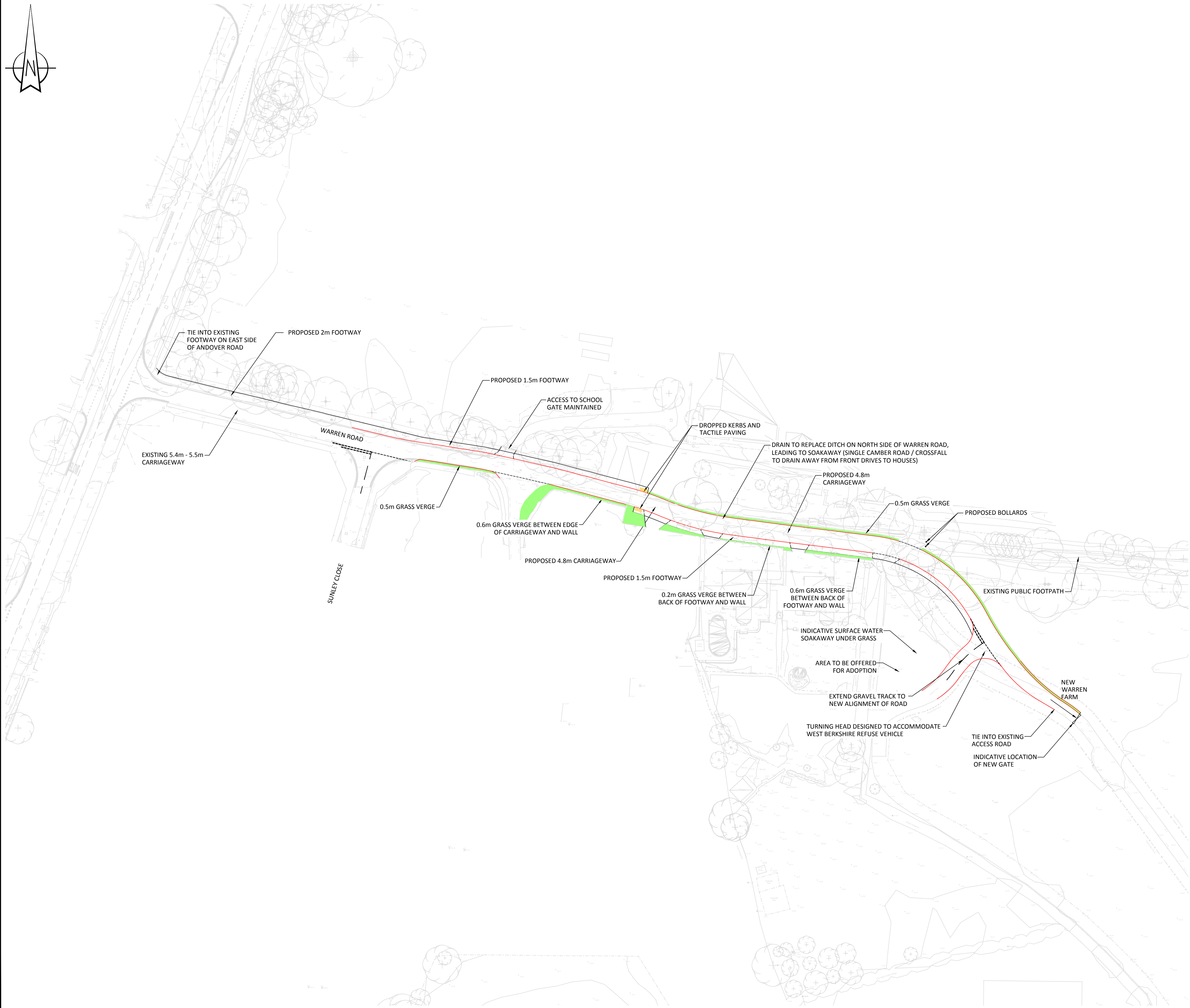
Date	Drawn By	Checked By	Paper Size	Drawing Scale
17/08/17	JK	JW	A3	1:500

Drawing Number
81311/59/001



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 3. This drawing is to be read & printed in colour.
 4. This drawing is for illustrative purposes only.
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1. The information contained in this drawing is based on a combination of OS and data provided by others and WYG shall not be liable for any inaccuracies or deficiencies.



REV	DETAILS	DRAWN BY	CHECKED BY	DATE
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CLIENT: **Donnington New Homes**

PROJECT: **New Warren Farm**

DRAWING TITLE: **Proposed Improvements to Warren Road**

SCALES: **1:500** SHEET SIZE: **A1**

DRAWN: **GS** CHECKED: **CL** DATE: **20.11.2017**



DRAWING NUMBER: **A090455-SK23** REVISION: **-**

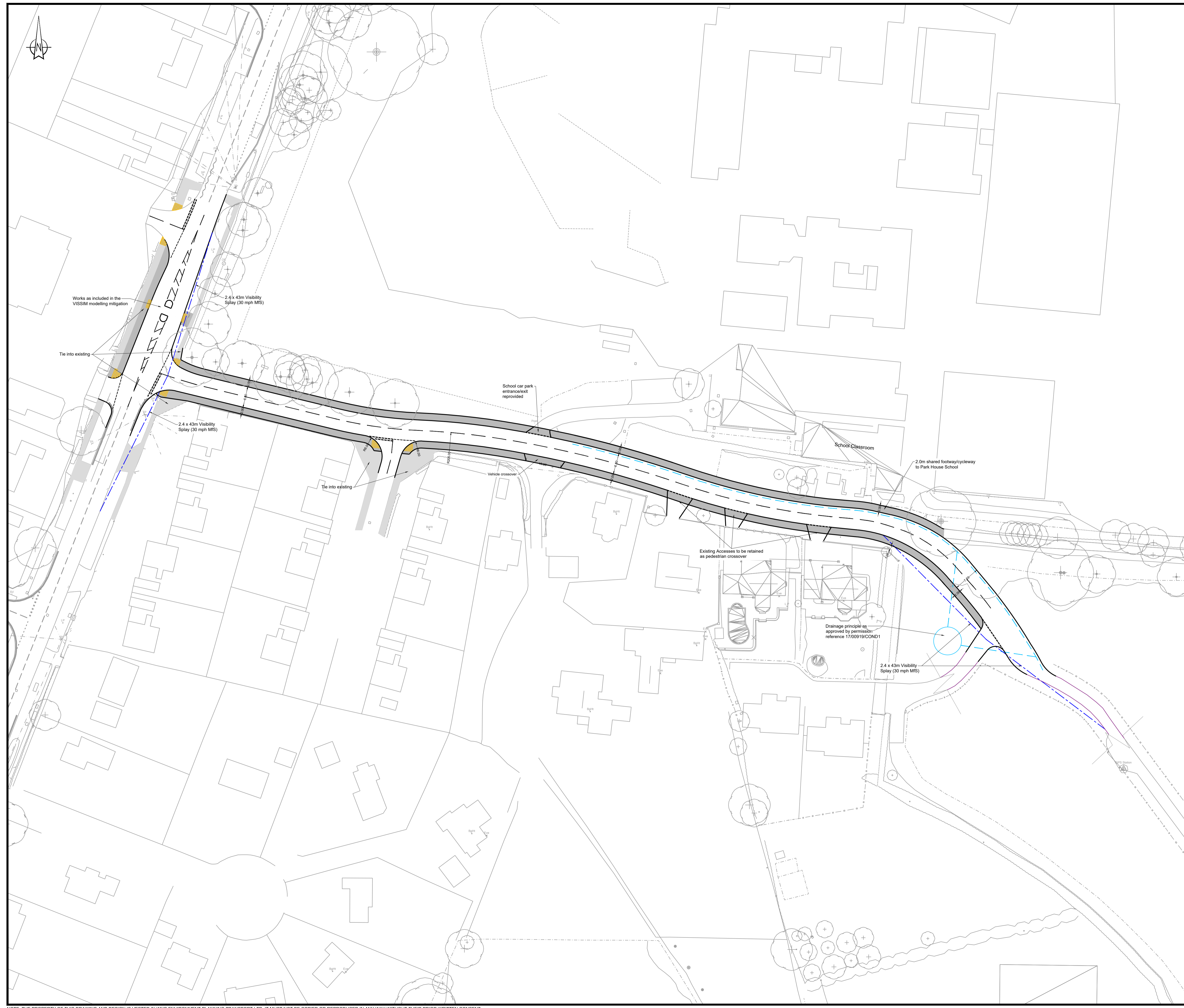
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Legend

- Existing Footway
- Proposed Footway



REV	DETAILS	DRAWN BY	CHECKED BY	DATE
C	Minor revisions	BM	MA	25.10.2019
B	Minor revisions	BM	MA	14.10.2019
A	Minor revisions	BM	MA	11.10.2019
-	First Issue	BM	MA	11.10.2019

CLIENT:
Donnington New Homes and Mr and Mrs Norgate

PROJECT:
New Warren Farm

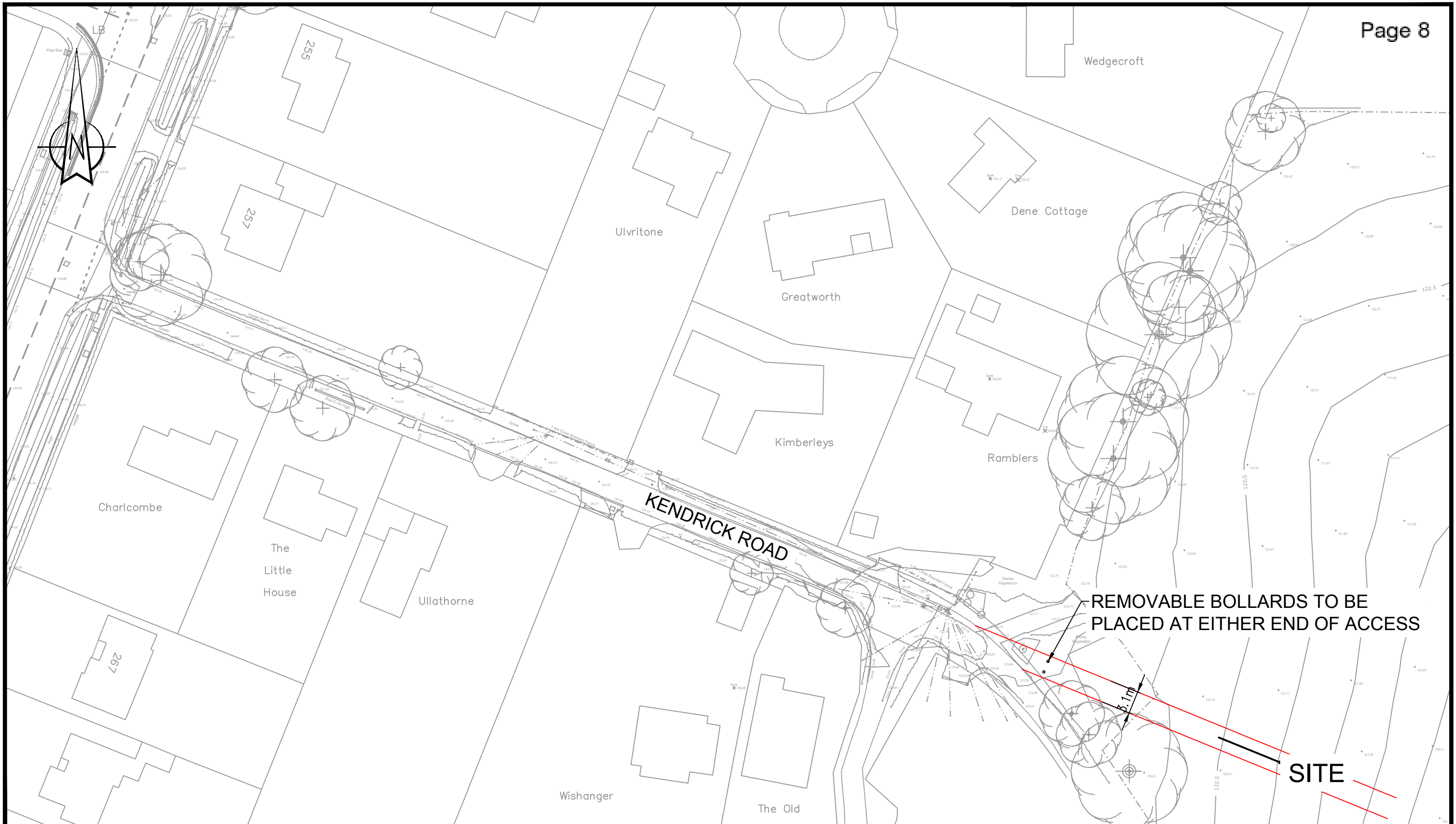
DRAWING TITLE:
Proposed 6.0m Wide Warren Road

SCALES:	1:500	SHEET SIZE:	A1
DRAWN:	BM	CHECKED:	MA
		DATE:	11.10.2019

WYG Transport
part of WYG group

90 Victoria Street
Bristol, BS1 6DP
t: 0117 925 4393 f: 0117 925 4239 e: transport.bristol@wyg.com

DRAWING NUMBER:	A090455-SK40	REVISION:	C
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REV	DETAILS	DRAWN	CHECKED	DATE
-	First Issue	-	-	01.01.2017

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 4. ALL DIMENSIONS ARE SHOWN IN METERS, UNLESS SPECIFIED OTHERWISE.
 5. INDICATIVE DRAWING ADAPTED FROM ITRANSPORT DRAWING ITB10083-GA-031

PROJECT: **New Warren Farm**

DRAWING TITLE: **Potential Emergency / Shared Footway / Cycleway Access - Kendrick Road**

DRAWN: BM	CHECKED: AP	DATE: March 2018	SCALES: 500	SHEET SIZE: A3
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CLIENT: **Donnington New Homes**

WYG Transport
 part of WYG group

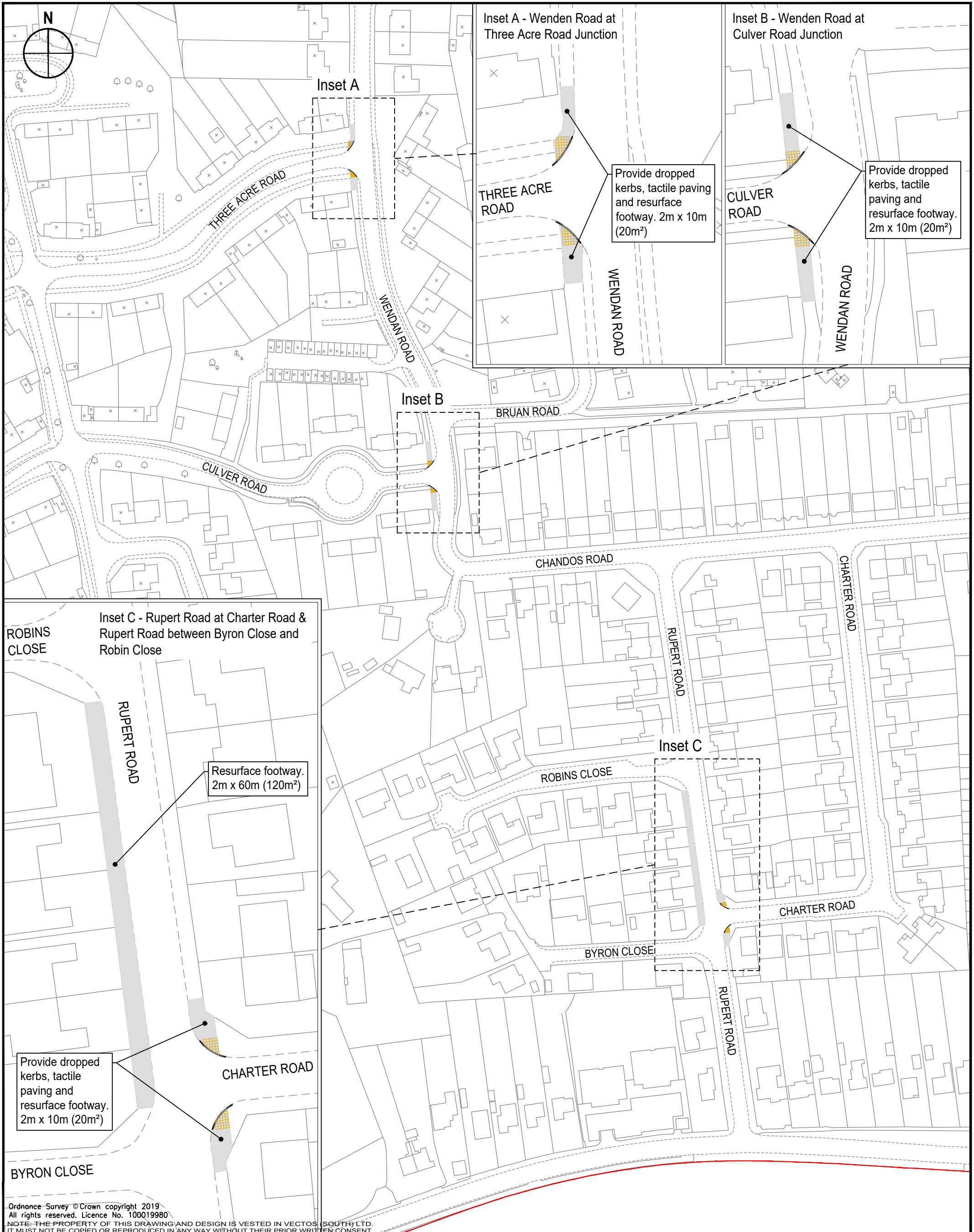
90 Victoria Street
 Bristol, BS1 6DP
 t: 0117 925 4393 f: 0117 925 4239 e: transport.bristol@wyg.com

DRAWING NUMBER: **A090455-SK24**

REVISION: -

Appendix L

Drawing 172985/A/21 Pedestrian Improvements to Rupert Road/Wendan Road



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REV	DETAILS	DRAWN	CHECKED	DATE

Notes:
 1. This is not a construction drawing and is intended for illustrative purposes only.
 2. White lining is indicative only.
 3. For further detail on proposed off-site highway improvements refer to Vectos report: Pedestrian Accessibility & Audit Survey

Key

- Proposed footway resurfacing
- Proposed tactile paving
- Proposed dropped & transition kerb
- Red line boundary

Sandleford Park Newbury

Proposed Off-Site Highway Improvements to Suit Pedestrian Accessibility & Audit Survey

DRAWN: JB	CHECKED: AW	DATE: 23.03.2021	SCALES: NTS & 1:500 at A3
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Bloor Homes

vectos.

Network Building, 97 Tottenham Court Road, London W1T 4TP
 t: 020 7580 7373 e: enquiries@vectos.co.uk

DRAWING NUMBER: 172985/A/21	REVISION: .
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Appendix M

Phase 1 Bus Strategy Timetable

Current Timetable
Newbury Bus Station-Monks Lane Surgery

Monday to Friday

	103A	8(Sch)	103A	6(Sch)	103A	2	103A	2	2	2	2
Newbury Bus Station	0635	0730	0735	0812	0835	0900	0935	1000	1100	1200	1300
Monks Lane Surgery	0646	0751	0746	0823	0846	0922	0946	1022	1122	1222	1322
	2	2	2	2	2						
Newbury Bus Station	1400	1500	1600	1745	1840						
Monks Lane Surgery	1422	1522	1622	1807	1902						
	8/2	2	2	2	2	2	2	103A	2(NSch)	2A(Sch)	103A
Monks Lane Surgery	0751	0930	1030	1130	1230	1330	1430	1521	1530	1527	1621
Newbury Bus Station	0817	0953	1053	1153	1253	1353	1453	1532	1553	1548	1632
	2	103A	2	103A	2						
Monks Lane Surgery	1630	1721	1815	1821	1910						
Newbury Bus Station	1653	1732	1838	1832	1930						

Saturdays

	2	2	2	2	2	2	2	2	2	2
Newbury Bus Station	0900	1000	1100	1200	1300	1400	1500	1600	1745	1840
Monks Lane Surgery	0921	1021	1121	1221	1321	1421	1521	1621	1806	1901
	2	2	2	2	2	2	2	2	2	2
Monks Lane Surgery	0929	1029	1129	1229	1329	1429	1529	1629	1814	1909
Newbury Bus Station	0953	1053	1153	1253	1353	1453	1553	1653	1838	1930

Notes

Sch - Schooldays only

NSch - Non Schooldays only